

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes **No responses**

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Atrisco Buisness Park Tract A Unit 1
6625 Bluewater Road

Request Description: Expansion of 90,000 gsf manufacturing building and associated parking/drive aisles. Seeking DFT Site Plan Approval

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
 - Grading and Drainage Plan X Approved NA
 - AMAFCA Approved X NA
 - Bernalillo County Approved X NA
 - NMDOT Approved X NA
 - MRGCD Approved X NA
- Renee C. Brissette
 Hydrology Department 01/04/24
 Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
 - Traffic Impact Study (TIS) X Approved ^{Conditional on} NA
 - Neighborhood Impact Analysis (NIA) Approved ^{NMDOT} X NA
 - Bernalillo County Approved X NA
 - MRCOG Approved X NA
 - NMDOT X Approved ^{Minor comments} NA
 - MRGCD Approved X NA
- Ernest Armijo
 Transportation Department 1/30/2024
 Date

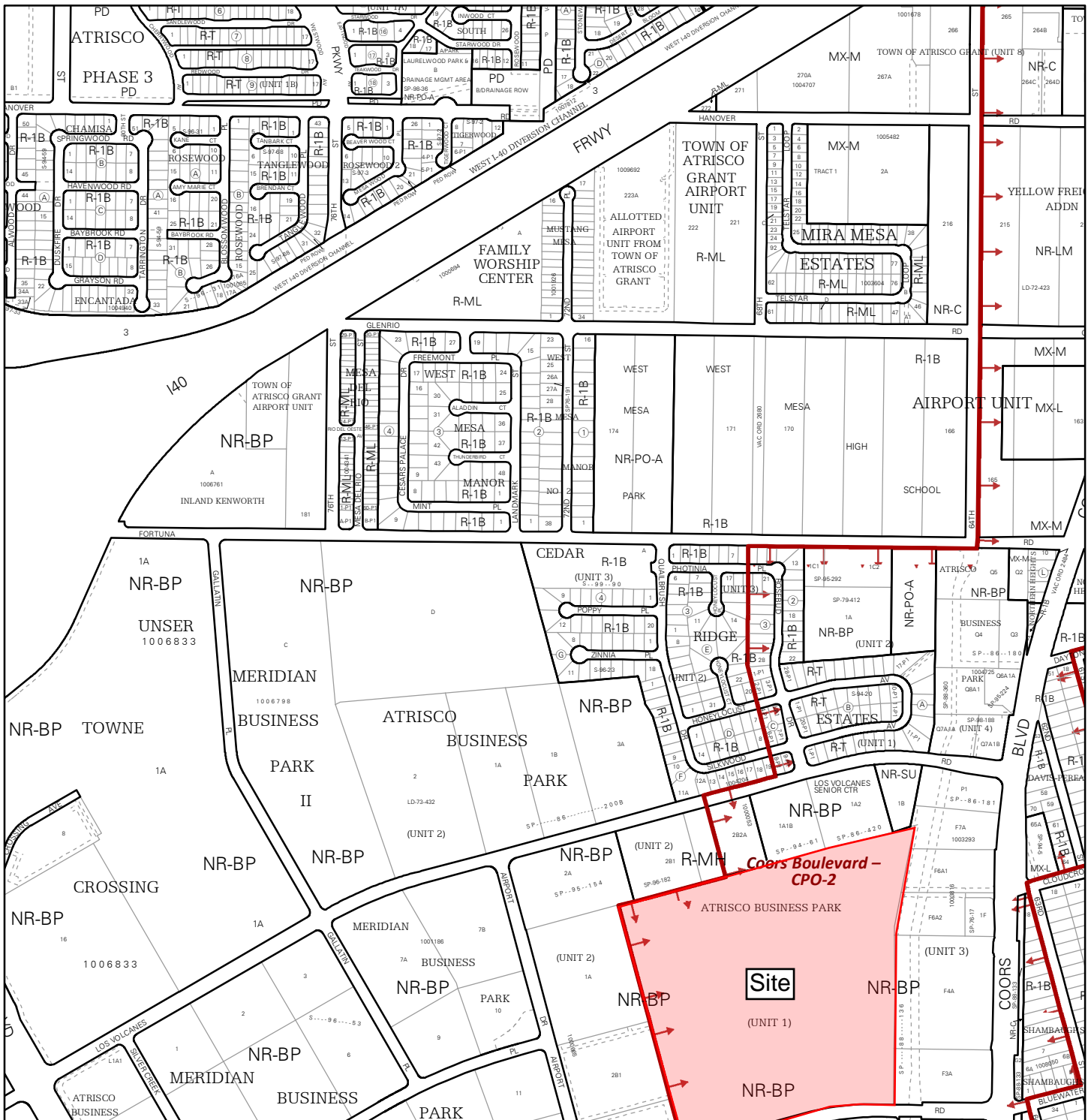
Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? X Yes No NA
- Availability Statement/Serviceability Letter Number 231023
- Note: Commitment for service is required prior to application approval.

Art Aguirre
 ABCWUA 01/08/2024
 Date

- Infrastructure Improvements Agreement (IIA*) X Approved NA
- Solid Waste Department Signature on the Plan X Approved NA
- Fire Marshall Signature on the Plan X Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

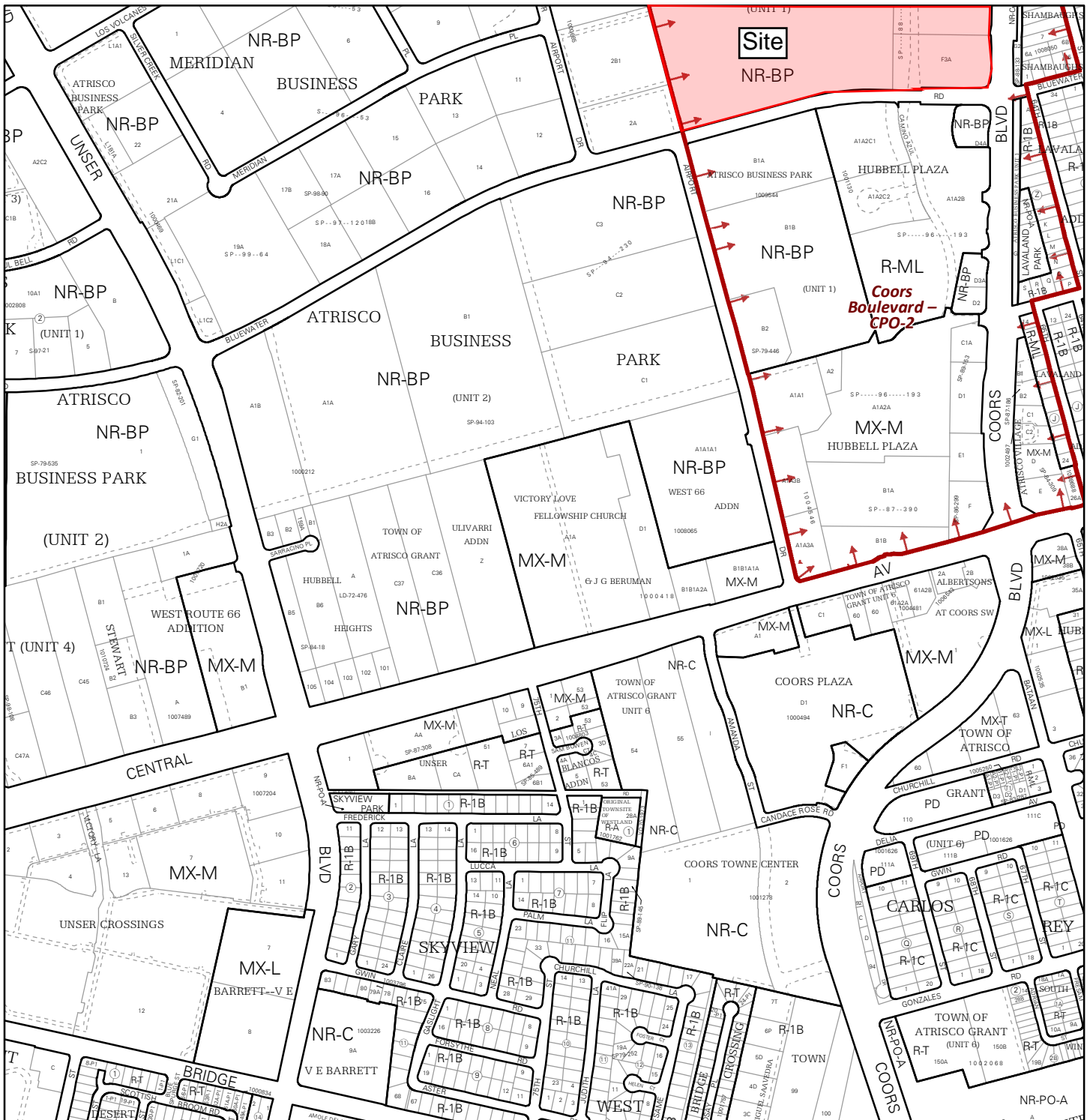
IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z


- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

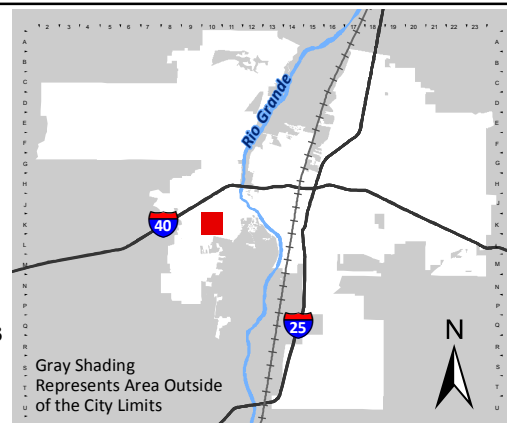


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

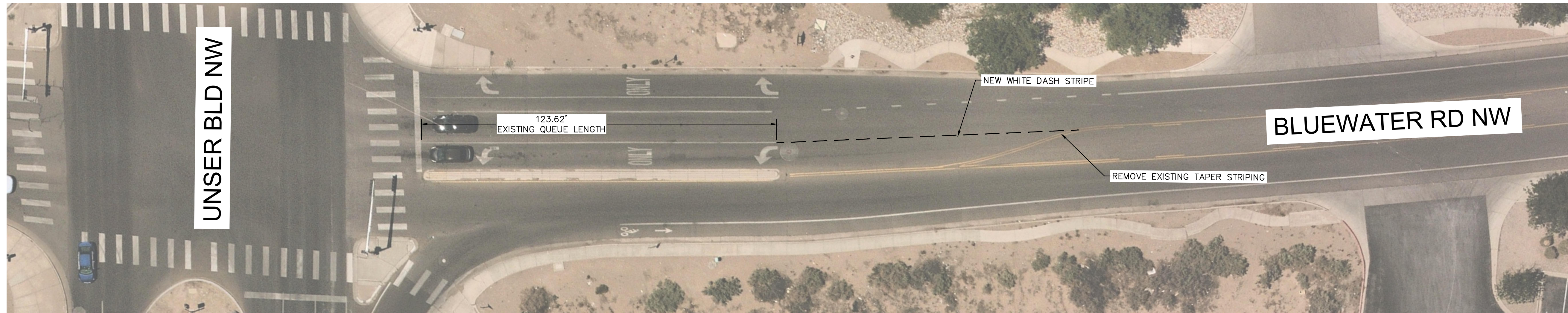
Zone Atlas Page:
K-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

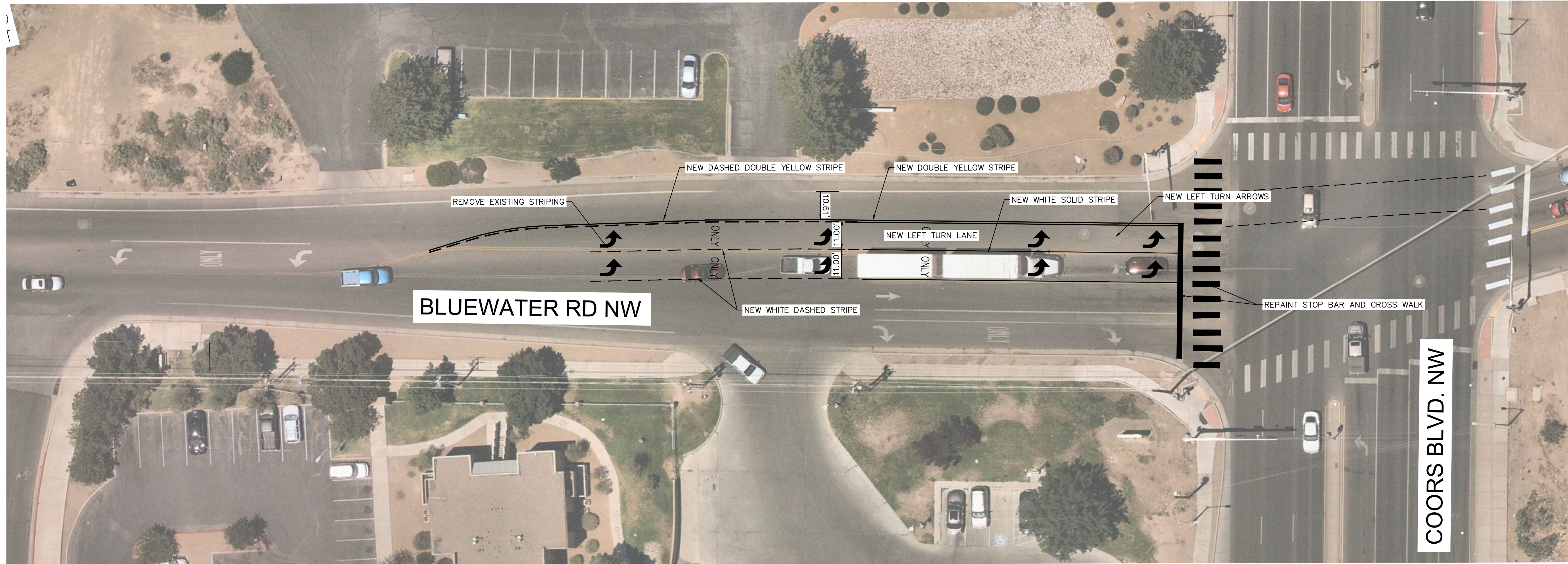
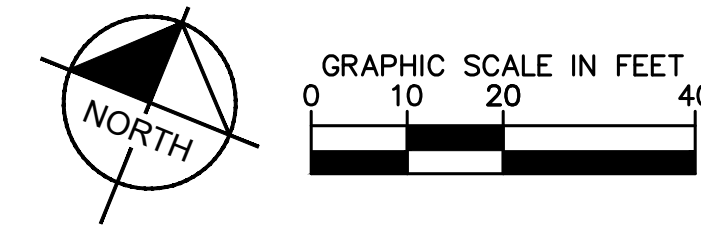
PROPOSED SITE PLAN SET

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



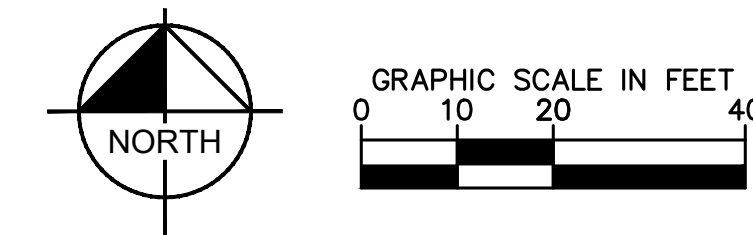
WBL BLUEWATER ROAD NW & UNSER BLVD NW NW LEFT TURN STRIPING

FOR REFERENCE ONLY



EBL BLUEWATER ROAD NW & COORS BLVD NW LEFT TURN STRIPING

FOR REFERENCE ONLY



NOTE: OFFSITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY. IMPROVEMENTS TO BE DESIGNED AND APPROVED THROUGH THE PUBLIC IMPROVEMENT PROCESS THROUGH THE ALBUQUERQUE DESIGN REVIEW COMMITTEE AND SHOULD NOT BE COMMENTED ON OR REVIEWED BY ABQ DFT

NO.	REVISION	BY	DATE	APPR

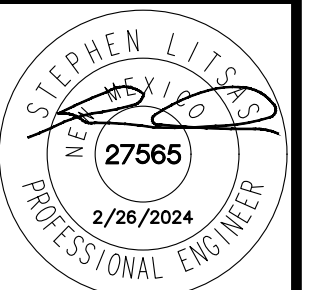
Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 26/02/2024

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
DETAILED SITE PLAN (OFFSITE)

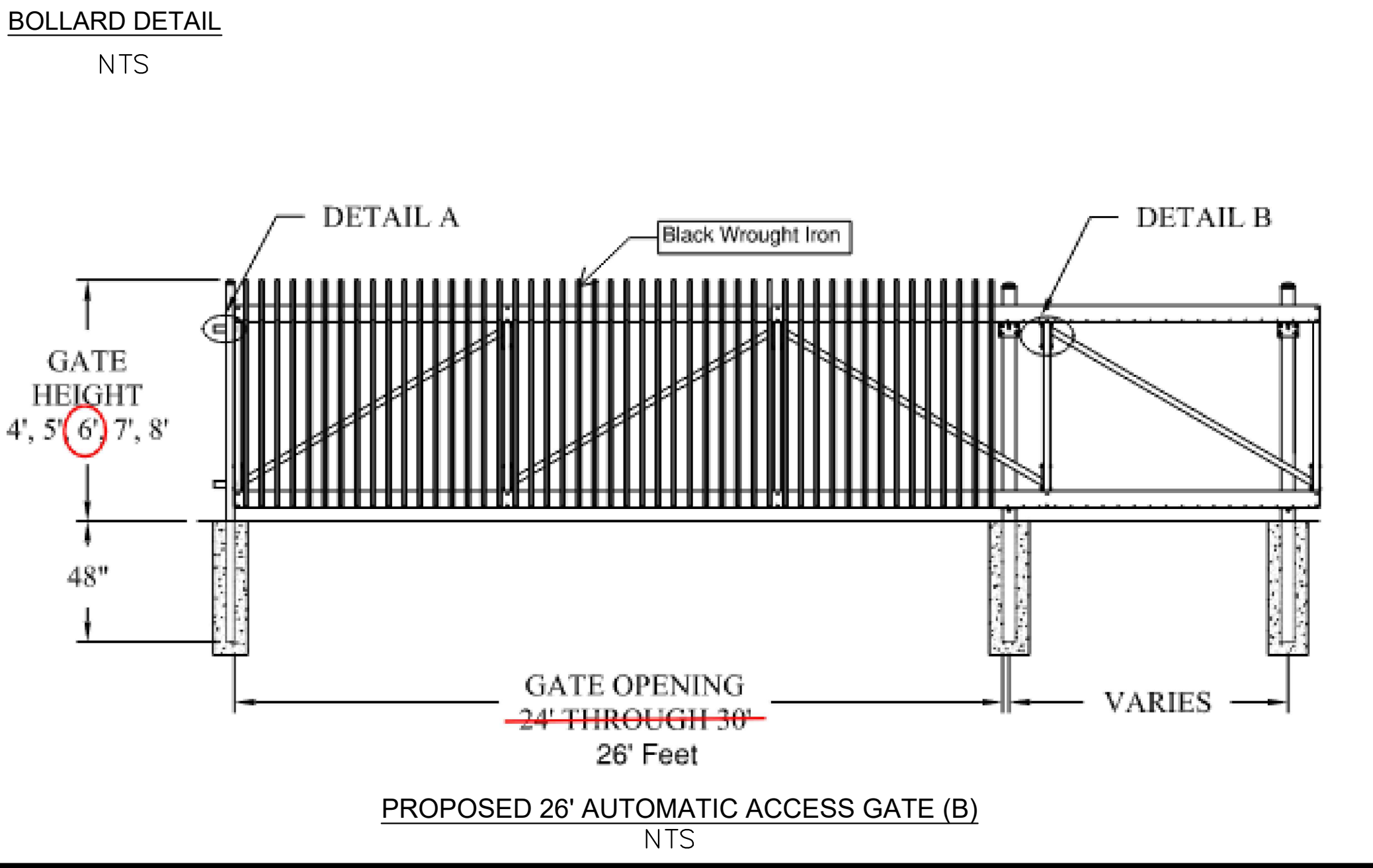
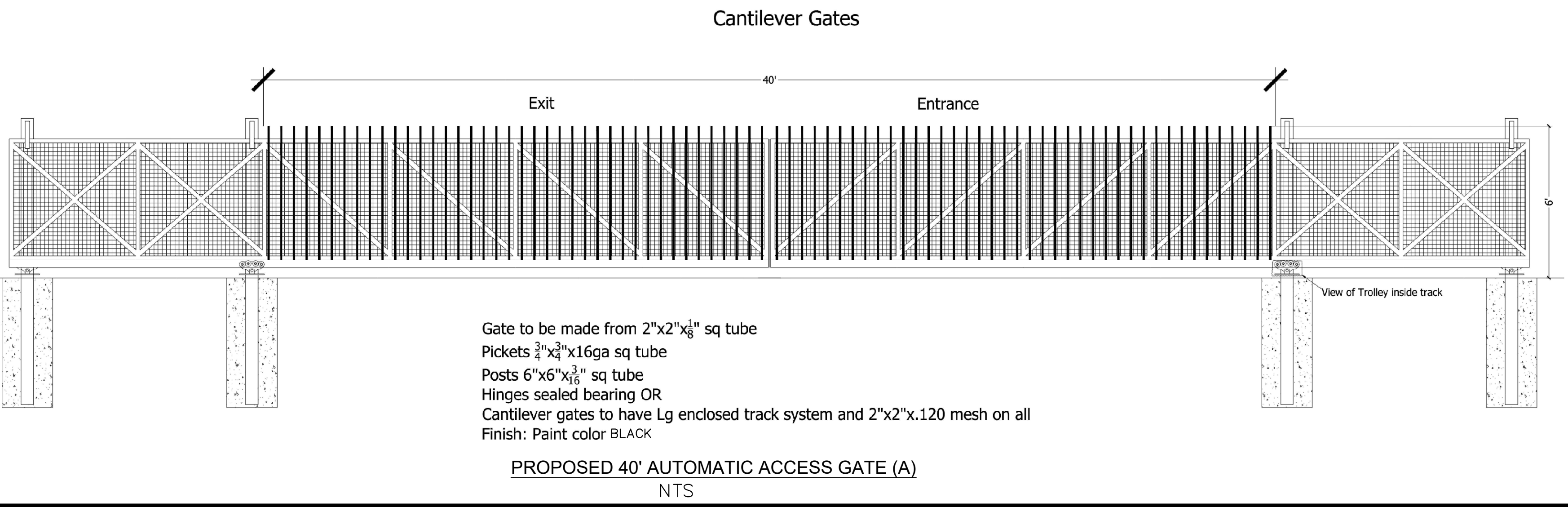
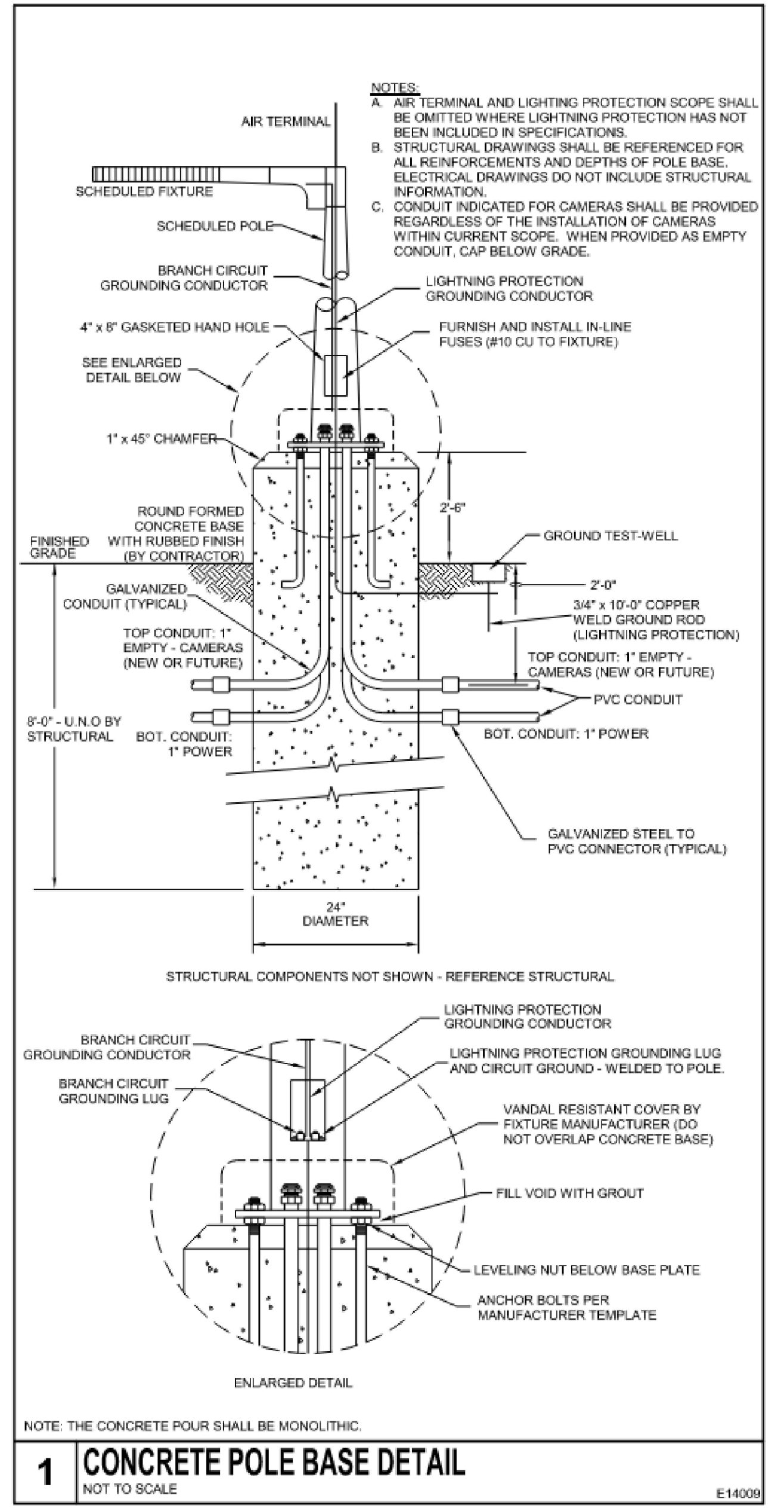
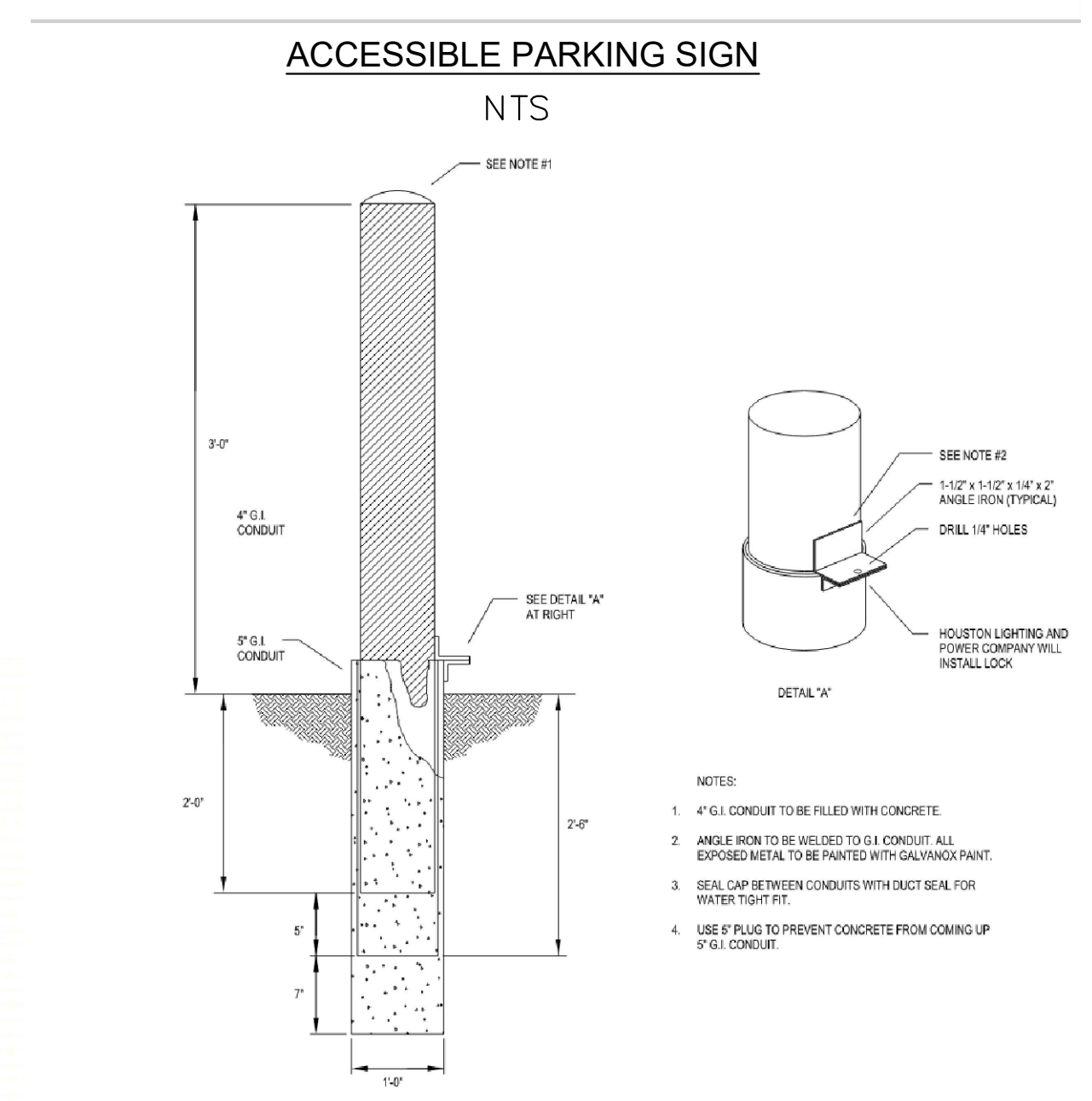
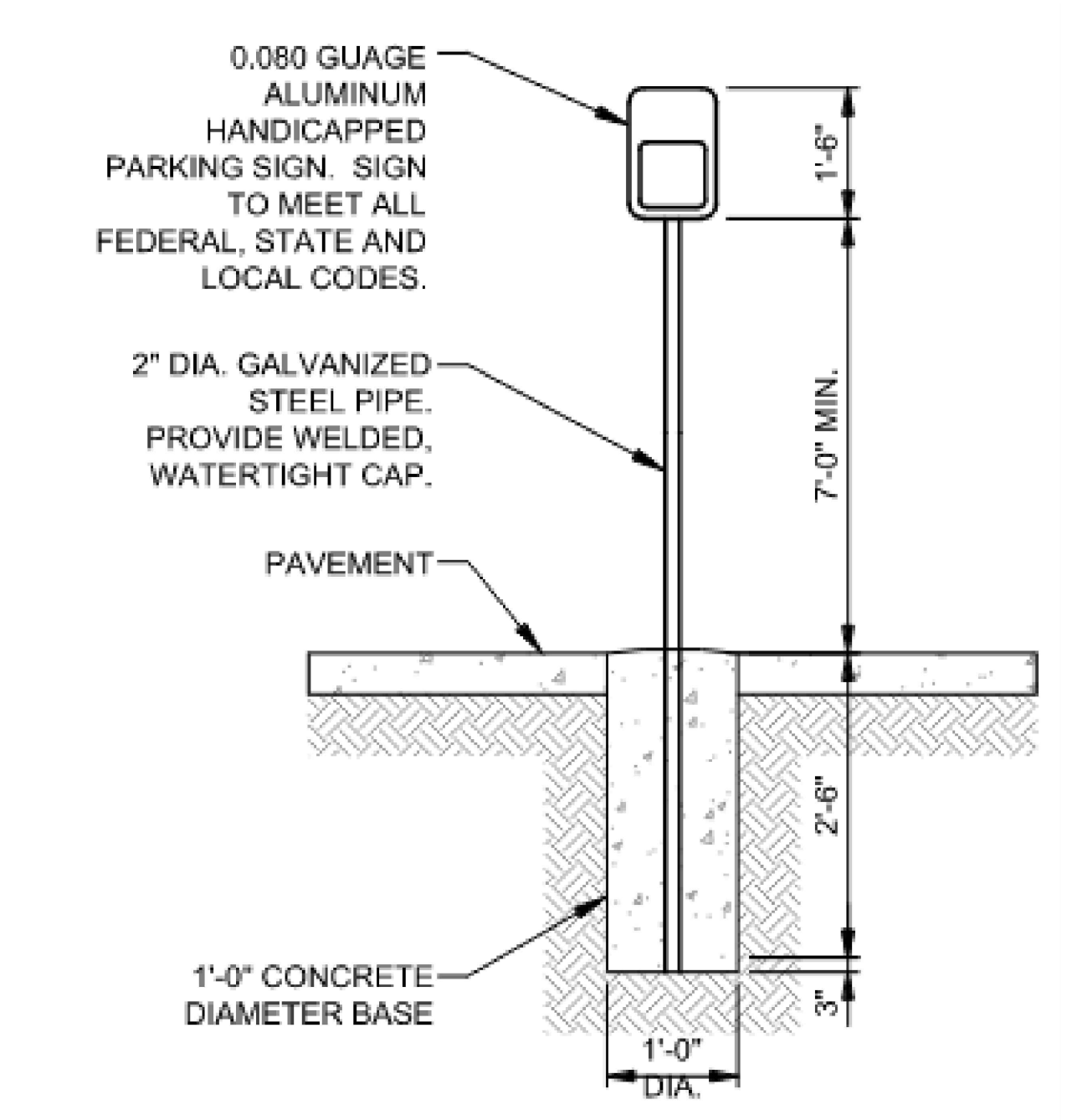
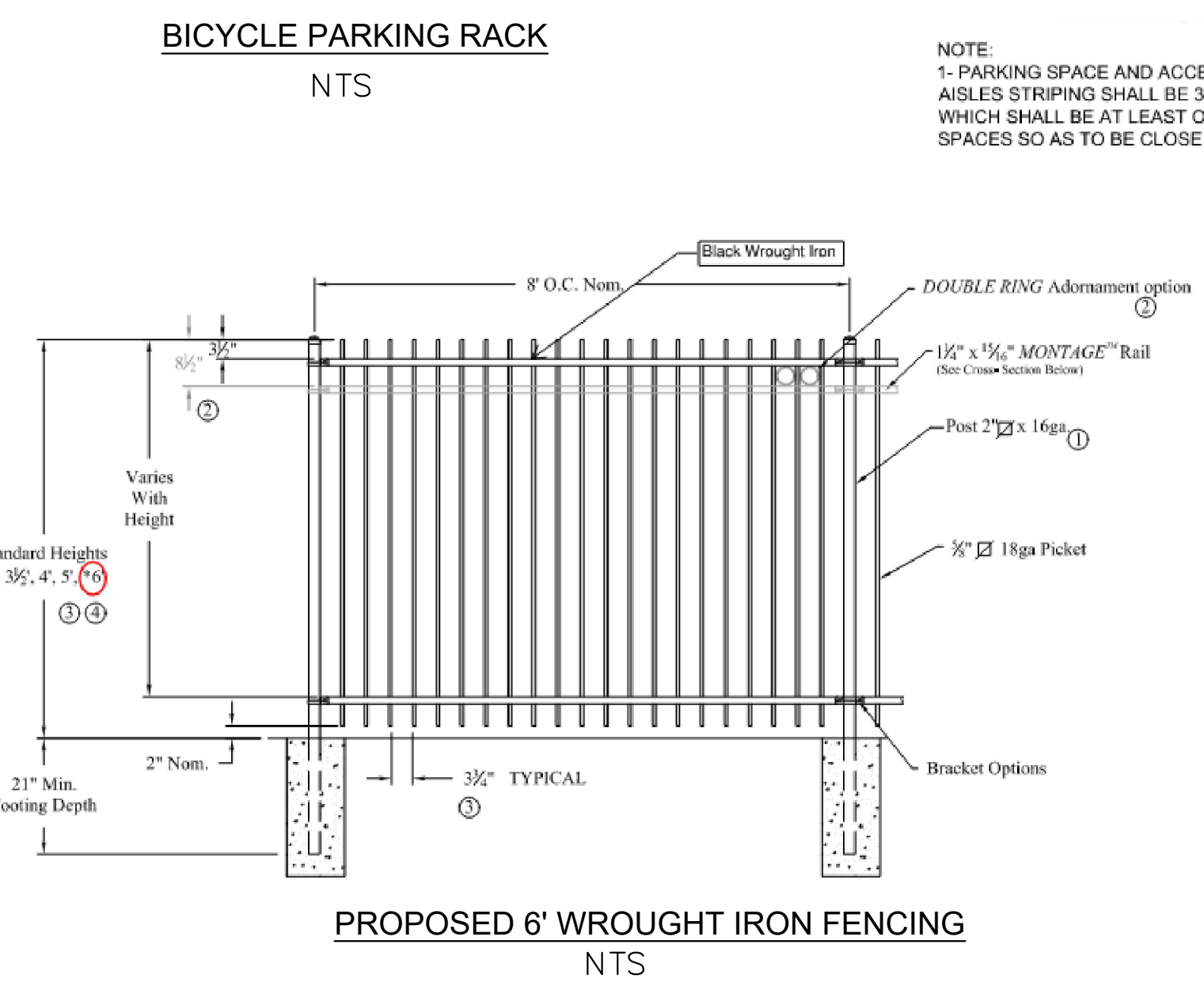
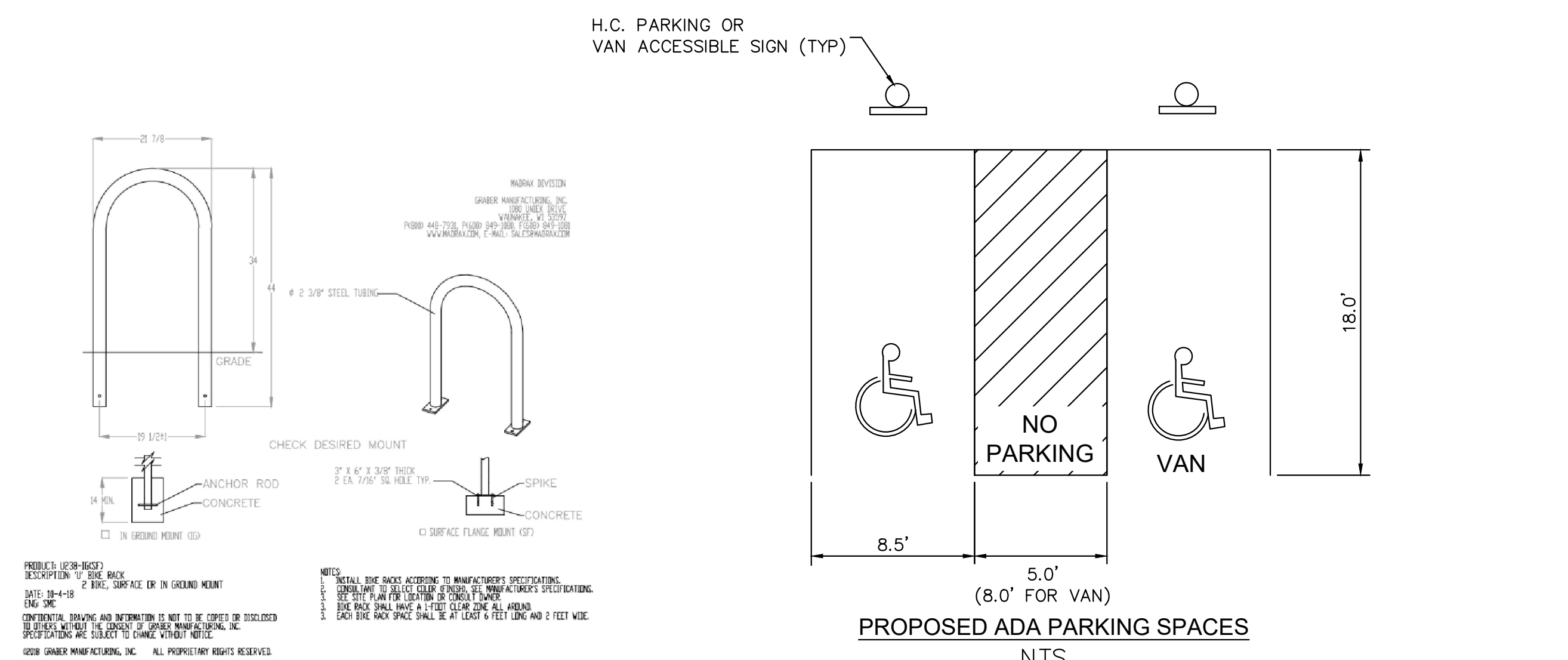


PROJECT NO.
096523009

SHEET

C1.2

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
©2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 26/02/2024

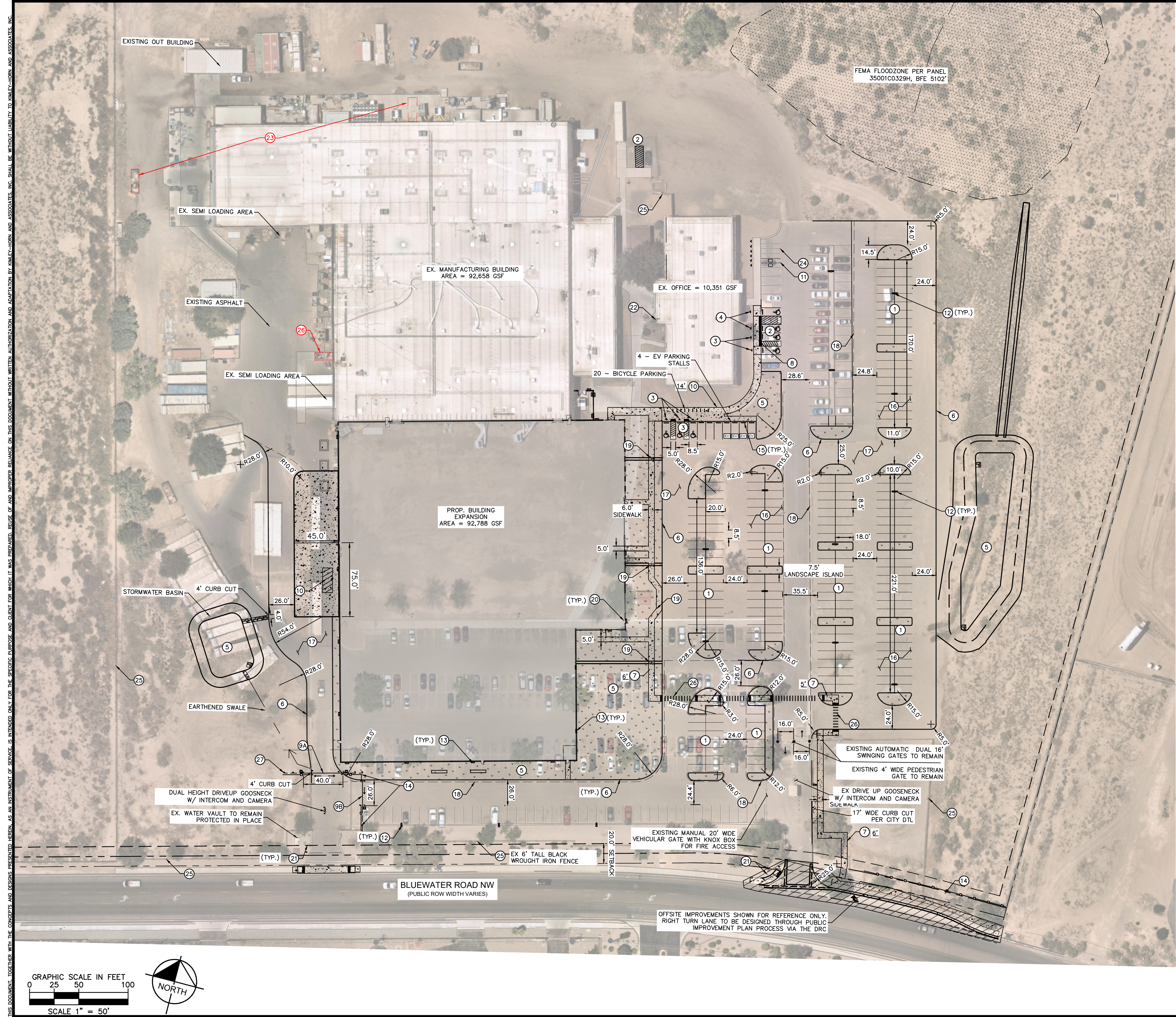
LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
SITE PLAN DETAILS

STEPHEN L. LIPS
27565
1/26/2024
PROFESSIONAL ENGINEER

PROJECT NO.
096523009

SHEET
C1.3



LEGEND:

	PROPERTY LINE
	ADJACENT SECTION LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	EX. FIRE HYDRANT/VALVE
	EX. FLAGPOLE
	EX. SITE LIGHT
	EX. SIGN
	PROP. 6" VERTICAL CURB PER CITY DTL
	PROP. BUILDING (SEE ARCH PLANS)
	PROP. HEAVY DUTY ASPHALT
	PROP. LIGHT DUTY ASPHALT
	PROP. CONCRETE
	PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
	ACCESSIBLE ROUTE
	PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
	PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
	PROPOSED SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

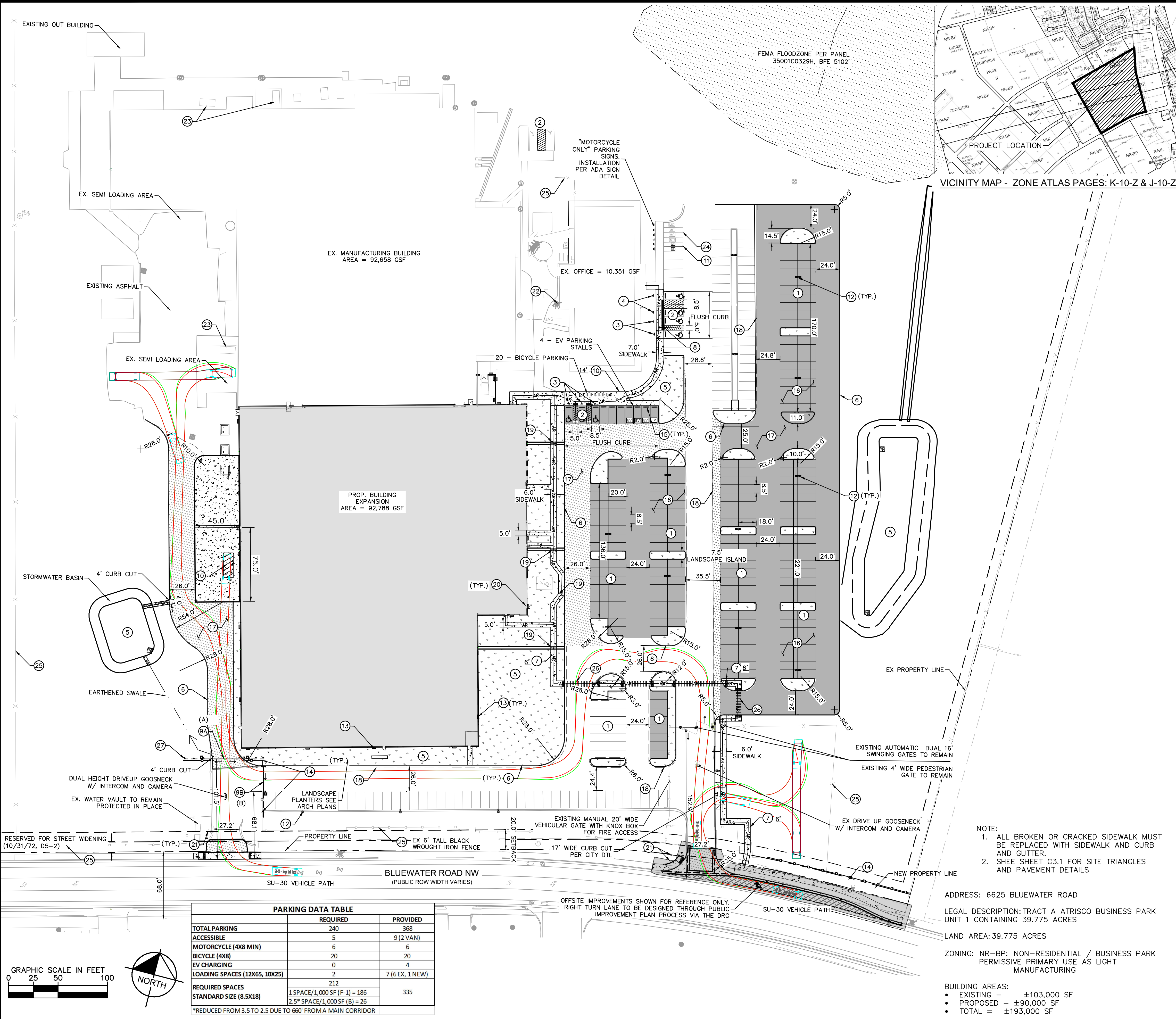
1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8	ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448)
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.3)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.3)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6' BLACK WROUGHT IRON FENCE (SEE SHEET C1.3)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17	HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING 30 YARD OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDS
27	BOLLARDS PER CITY DETAIL 2250

- DIMENSION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 - ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

Kimley»Horn	©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300				
LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES	DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 26/02/2024				
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT SOLID WASTE PLAN					
PROJECT NO. 096523009		SHEET		DATE / APPR.	
		C2.0			

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND:

- PROPERTY LINE
- - - ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊗ EX. SITE LIGHT
- ⊗ EX. SIGN
- ▬ PROP. 6" VERTICAL CURB PER CITY DTL
- ▬ PROP. BUILDING (SEE ARCH PLANS)
- ▬ PROP. HEAVY DUTY ASPHALT
- ▬ PROP. LIGHT DUTY ASPHALT
- ▬ PROP. CONCRETE
- ▬ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- AR ACCESSIBLE ROUTE
- ⊗ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROPOSED SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8	ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.3)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.3)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6" BLACK WROUGHT IRON FENCE (SEE SHEET C1.3)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17	HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDS
27	BOLLARDS PER CITY DETAIL 2250

- DIMENSION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 - ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

PARKING DATA TABLE

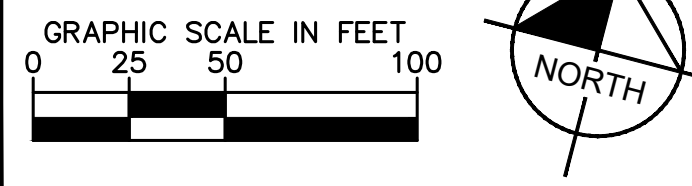
	REQUIRED	PROVIDED
TOTAL PARKING	240	368
ACCESSIBLE	5	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	6
BICYCLE (4X8)	20	20
EV CHARGING	0	4
LOADING SPACES (12X65, 10X25)	2	7 (6 EX, 1 NEW)
REQUIRED SPACES	212	
STANDARD SIZE (8.5X18)	1 SPACE/1,000 SF (F-1) = 186	335
	2.5" SPACE/1,000 SF (B) = 26	

*REDUCED FROM 3.5 TO 2.5 DUE TO 660' FROM A MAIN CORRIDOR

NOTE:
 1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
 2. SHEE SHEET C3.1 FOR SITE TRIANGLES AND PAVEMENT DETAILS

ADDRESS: 6625 BLUEWATER ROAD
 LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES
 LAND AREA: 39.775 ACRES
 ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±90,000 SF
 • TOTAL - ±193,000 SF



KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

Kimley»Horn

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 26/02/2024

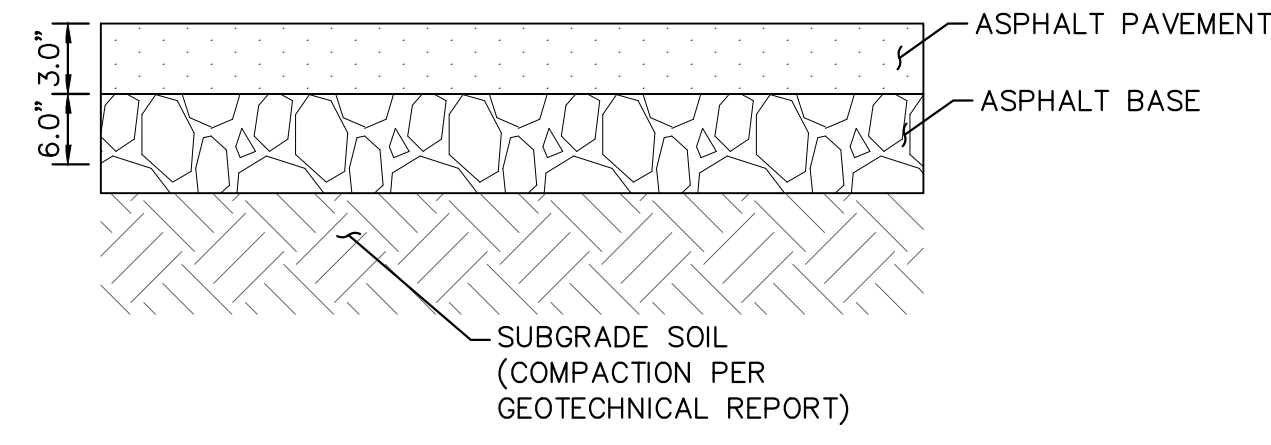
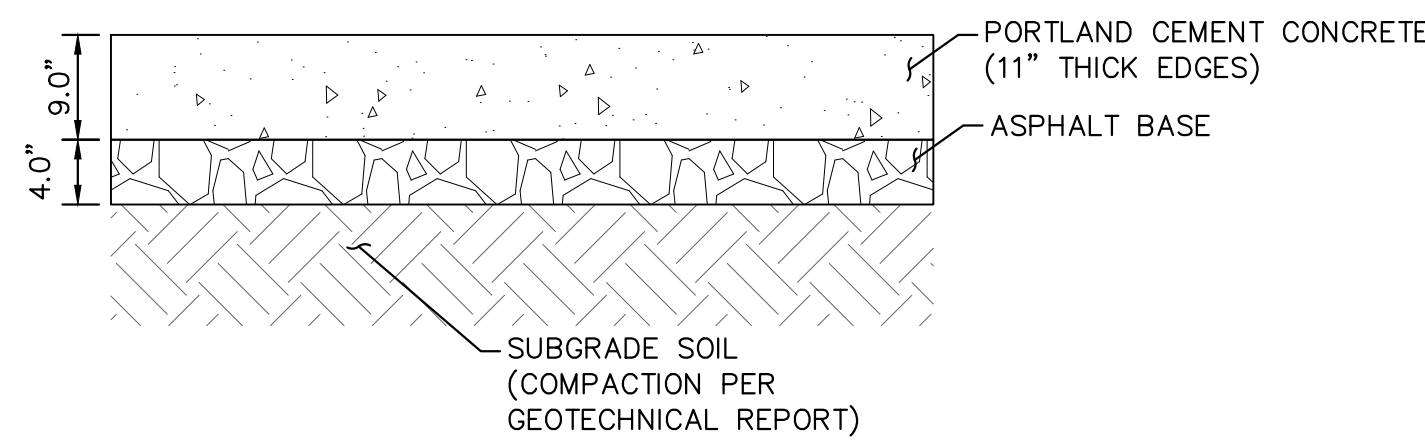
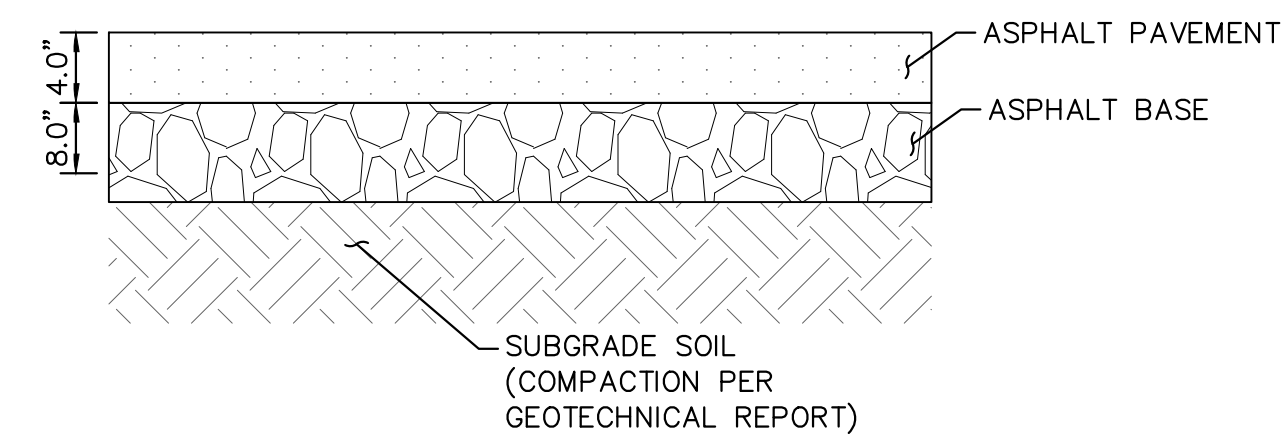
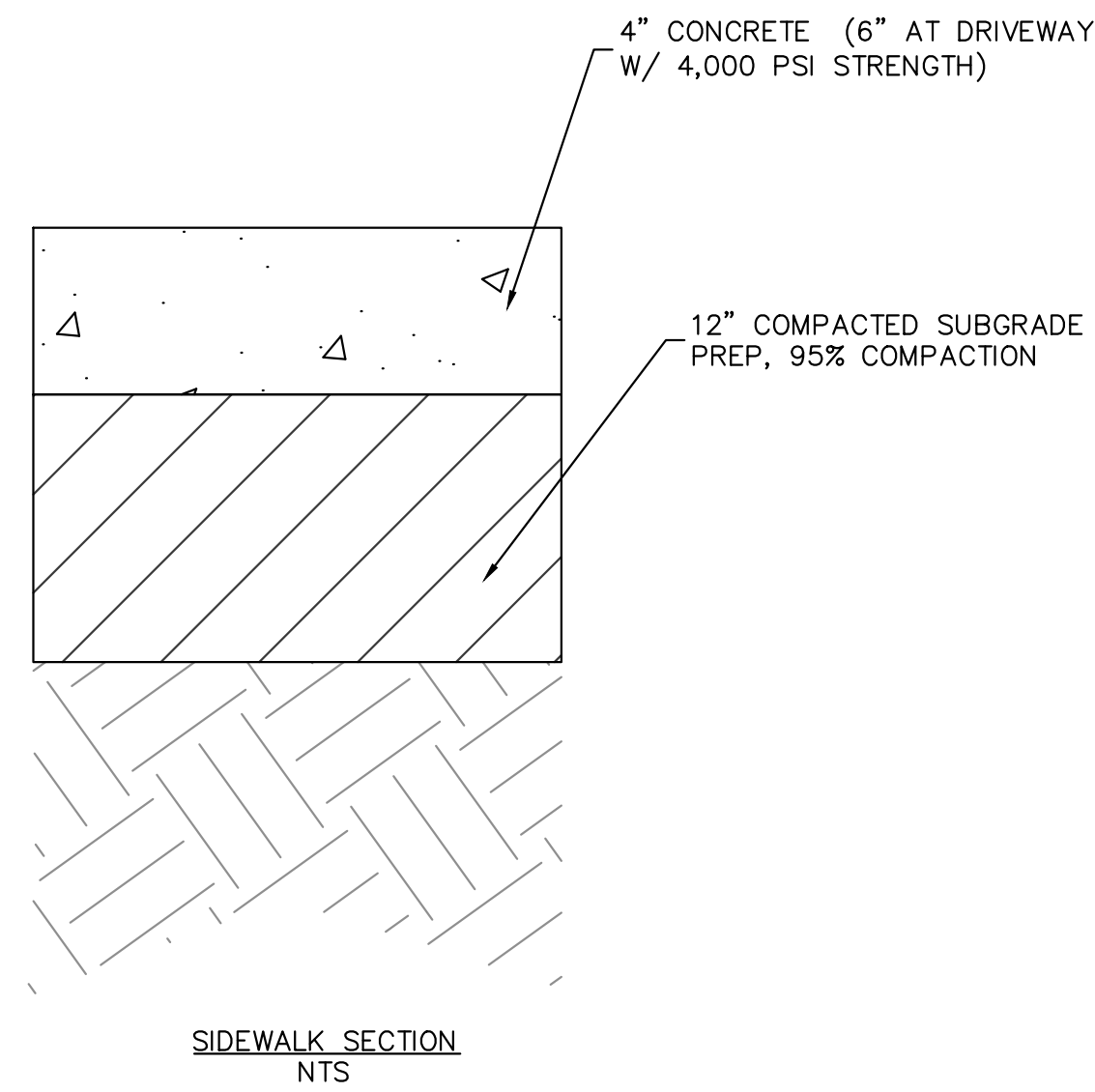
LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 CONCEPT TRAFFIC CIRCULATION LAYOUT

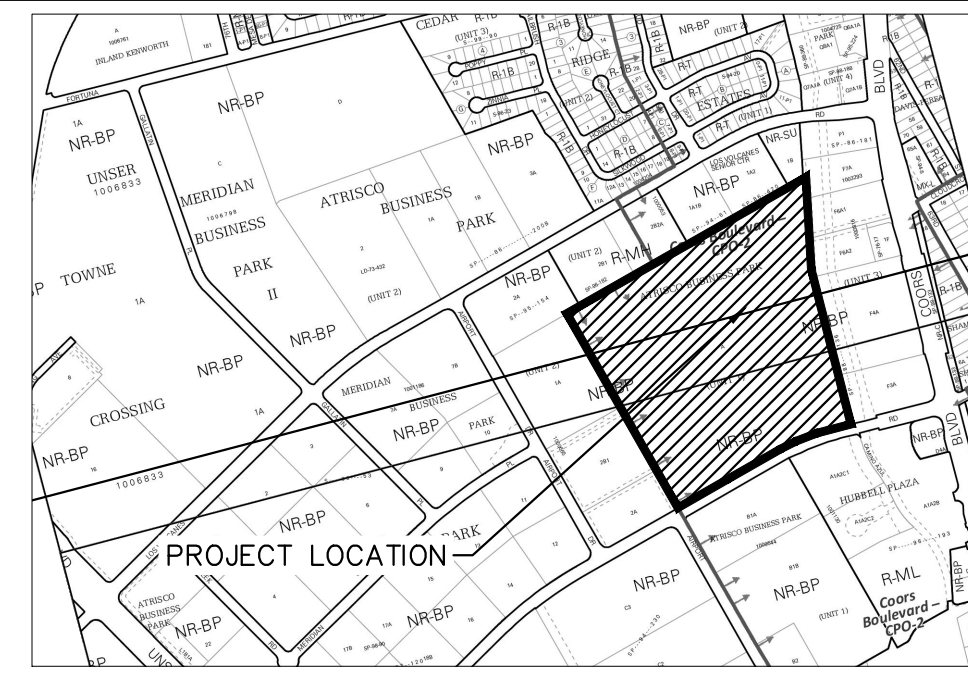
STEPHEN L. LITTON
 PROFESSIONAL ENGINEER
 27565
 2/26/2024

PROJECT NO.
 096523009
 SHEET
 C3.0

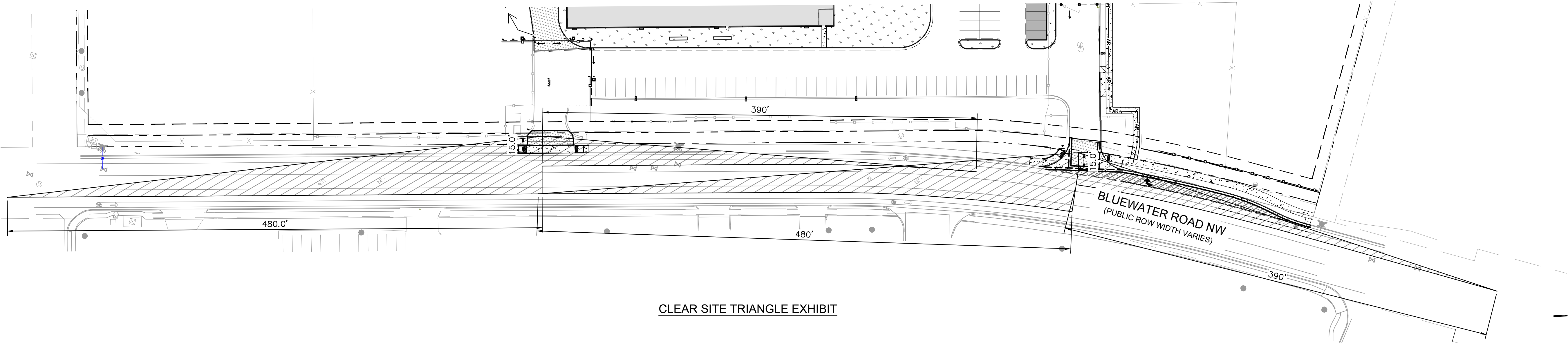
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



NOTES:
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM NINYO & MOORE, INC "GEOTECHNICAL EVALUATION", PROJECT #607850001, DATED SEPTEMBER 28, 2023.

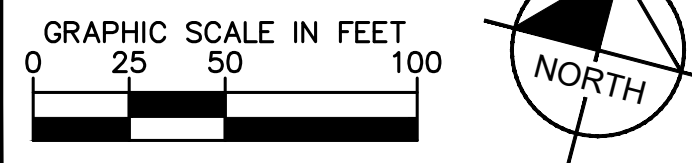


- LEGEND:**
- PROPERTY LINE
 - ADJACENT SECTION LINE
 - EX. UTILITY ESMT
 - EX. WROUGHT IRON FENCE
 - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊗ EX. FLAGPOLE
 - ⊗ EX. SITE LIGHT
 - ⊗ EX. SIGN
 - PROP. 6" VERTICAL CURB PER CITY DTL
 - ▭ PROP. BUILDING (SEE ARCH PLANS)
 - ▭ PROP. HEAVY DUTY ASPHALT (SEE SHEET C2.2)
 - ▭ PROP. LIGHT DUTY ASPHALT (SEE SHEET C2.2)
 - ▭ PROP. CONCRETE (SEE SHEET C2.2)
 - ▭ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
 - AR ACCESSIBLE ROUTE
 - ⊗ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
 - ⊗ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
 - ⊗ PROPOSED SIGN, TYPE PER KEYNOTES
- KEYNOTE LEGEND:**
- △ SITE TRIANGLE (SEE NOTE THIS SHEET)



CLEAR SITE TRIANGLE NOTES:

1. SITE TRIANGLES ARE DESIGN PER THE FOLLOWING:
 - BLUEWATER ROAD SPEED LIMIT: 40 MPH (PER ABQ MAP)
 - STOP CONTROLLED RIGHT TURN SIGHT DISTANCE: 390'
 - STOP CONTROLLED LEFT TURN SIGHT DISTANCE: 480'
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (MEASURED FROM GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



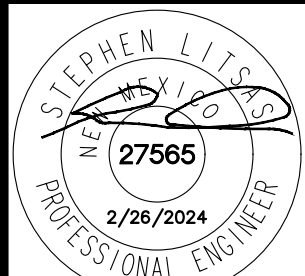
NO.	REVISION	BY	DATE	APPR

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 26/02/2024

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

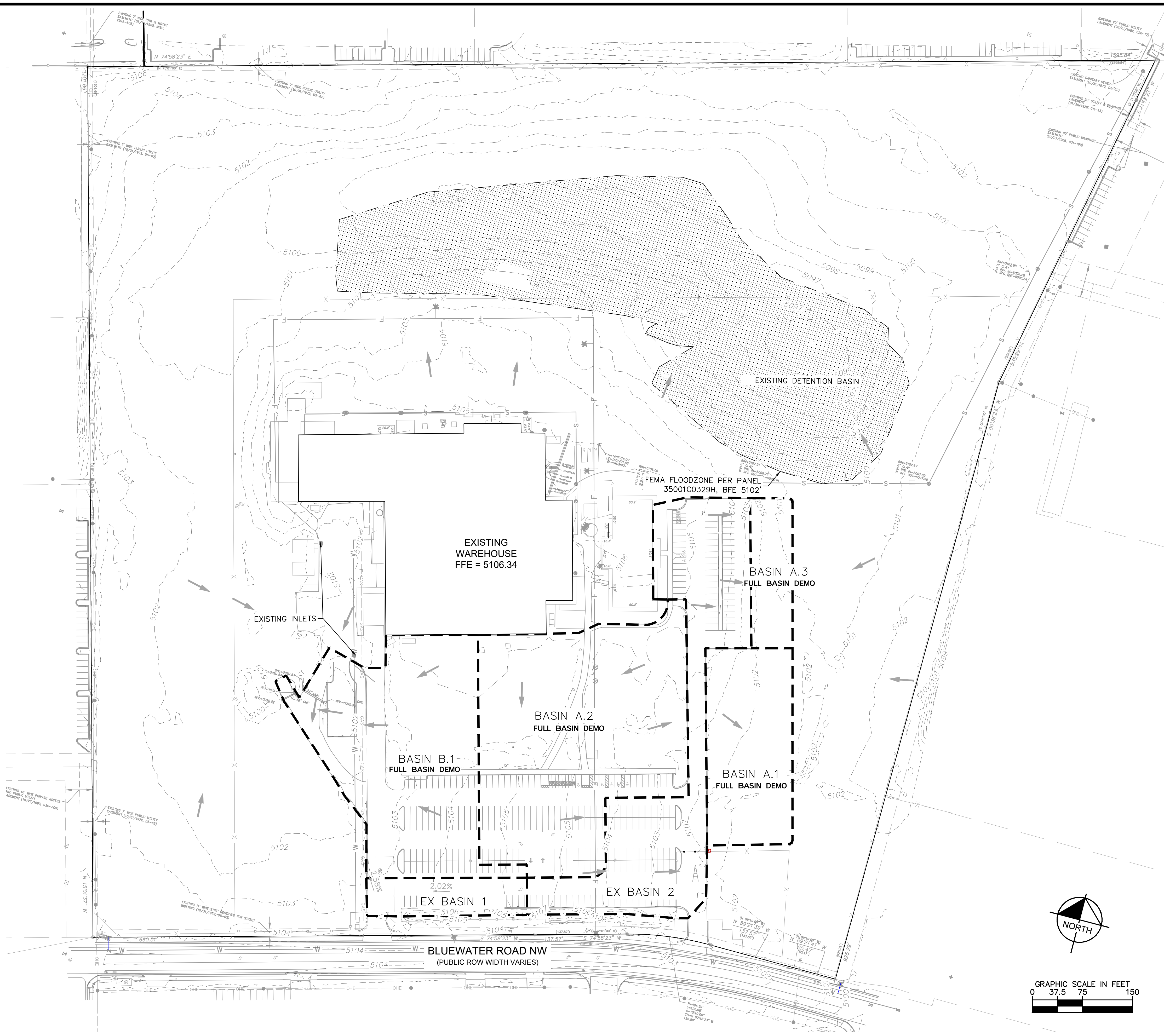
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
SITE TRIANGLES AND DETAILS SHEET



PROJECT NO.
096523009

SHEET
C3.1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



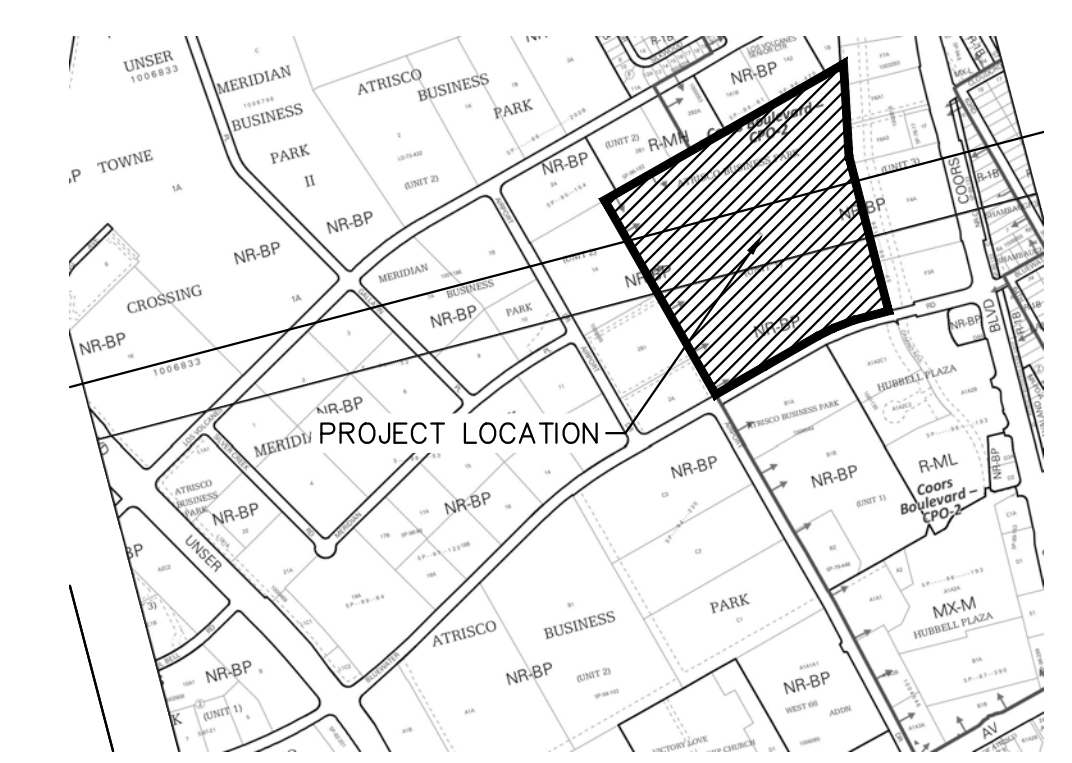
- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - EX. UTILITY ESMT
 - EX. WROUGHT IRON FENCE
 - EX. CHAIN LINK FENCE
 - EX. FIRE HYDRANT/VALVE
 - EX. SANITARY SEWER MANHOLE/CLEANOUT
 - EX. SANITARY SEWER LINE
 - EX. FLAGPOLE
 - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - EX. SIGN

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 11/20/23
BY: *Renee C. Brumell*
HydroTrans # K10D011

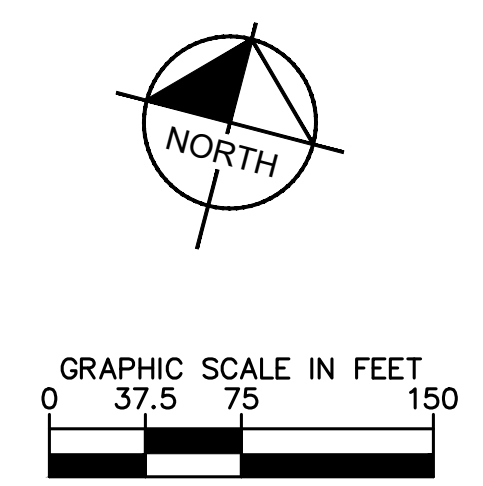
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



FEMA FIRMETTE #35001C0329H



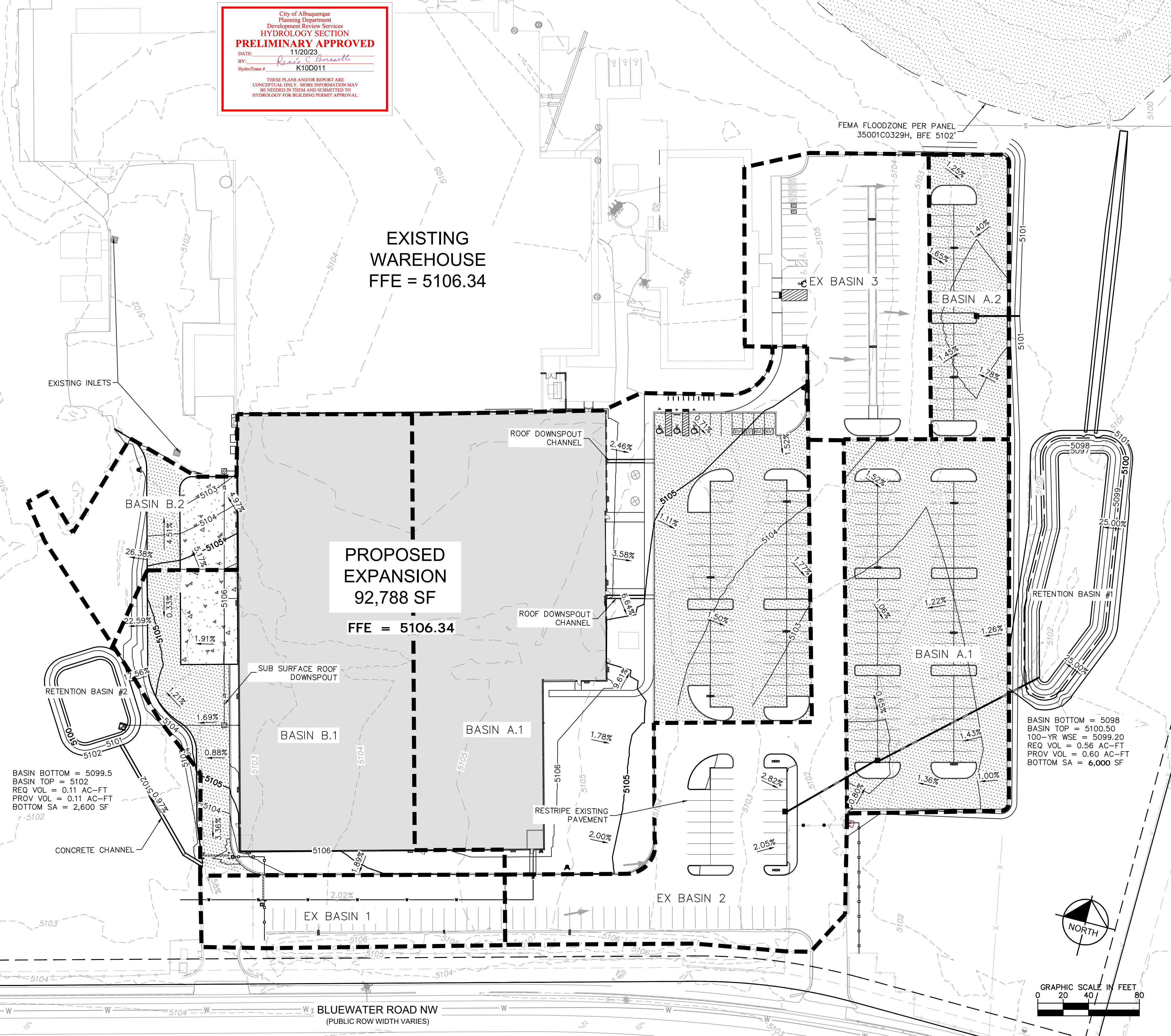
VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: x-small; margin: 0;">© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">NO.</td> <td style="width: 10%;">REVISION</td> <td style="width: 10%;">BY</td> <td style="width: 10%;">DATE</td> <td style="width: 10%;">APPR</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR					
NO.	REVISION	BY	DATE	APPR							
<p>DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 11/06/2023</p>											
<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>											
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT</p> <p style="text-align: right;">CONCEPTUAL EXISTING DRAINAGE EXHIBIT</p>											
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="text-align: right;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>											
<p>PROJECT NO. 096523009</p>											
<p>SHEET</p>											
<p>D1</p>											

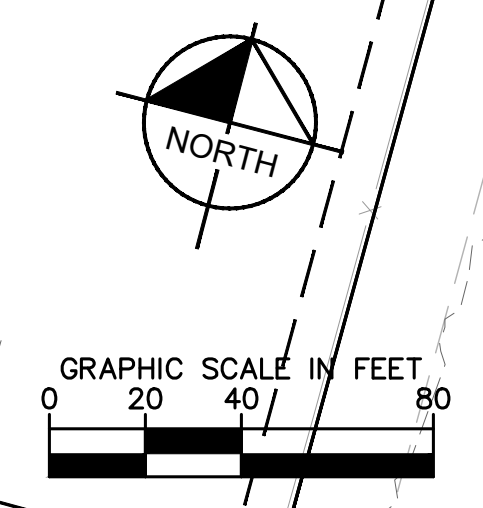
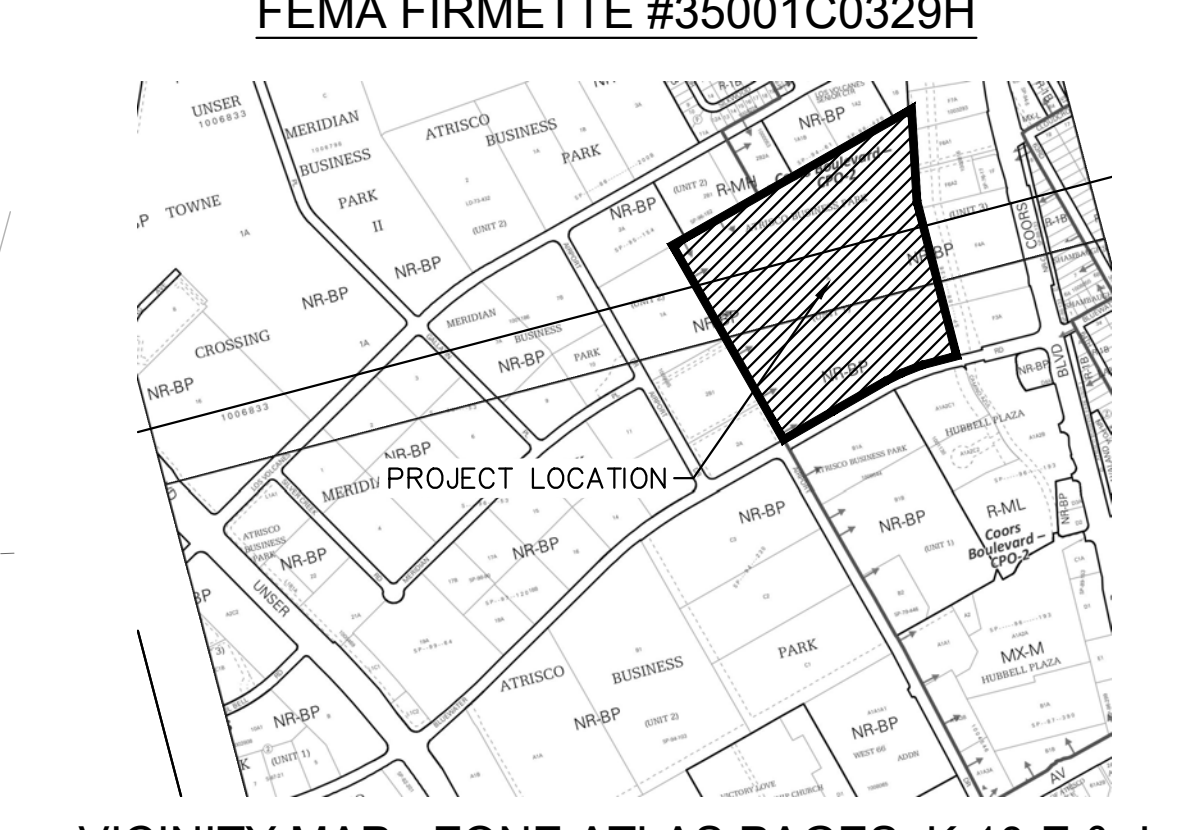
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/20/23
 BY: *[Signature]*
 HydroTrans # K10D011
 THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
 BE NEEDED IN THEM AND SUBMITTED TO
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



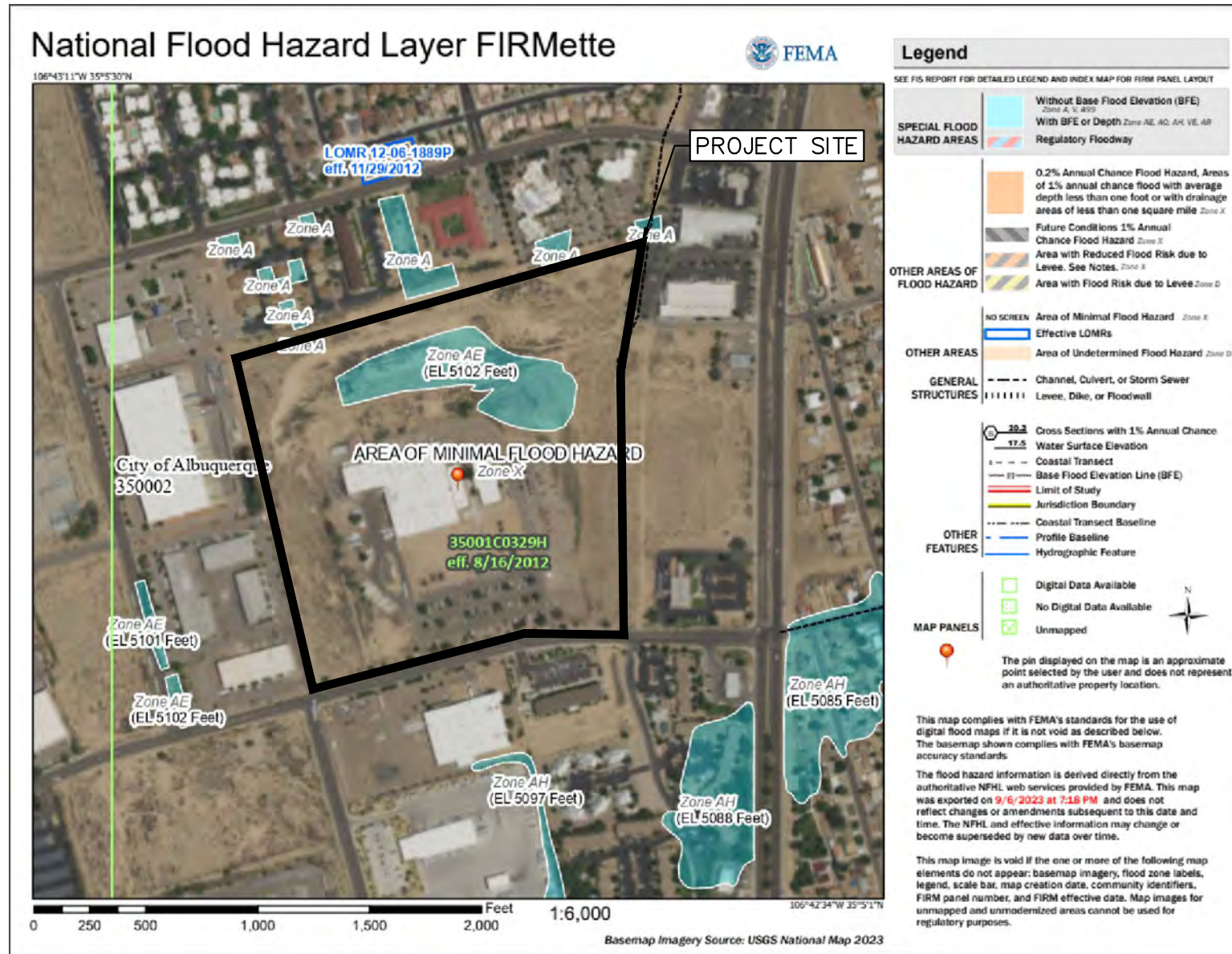
- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - - - EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - - - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - ⊙ EX. SITE LIGHT
 - ⊙ EX. SIGN
 - PROP. 6" VERTICAL CURB
 - ▒ PROP. BUILDING
 - ▒ PROP. PAVEMENT
 - - - PROP. FIRE LANE
 - - - PROP. CONTOUR
 - - - EX. CONTOUR
 - - - PROP. SLOPE ARROW
 - - - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

- GRADING LEGEND:**
- FLOWLINE = FL
 - BOTTOM OF CURB = BOC
 - FINISHED GRADE = FG
 - EXISTING GRADE = EG
 - FINISHED FLOOR ELEVATION = FFE
 - EDGE OF PAVEMENT = EOP
 - HIGH POINT = HP
 - LOW POINT = LP
 - SIDEWALK = SW
 - CENTERLINE = CL

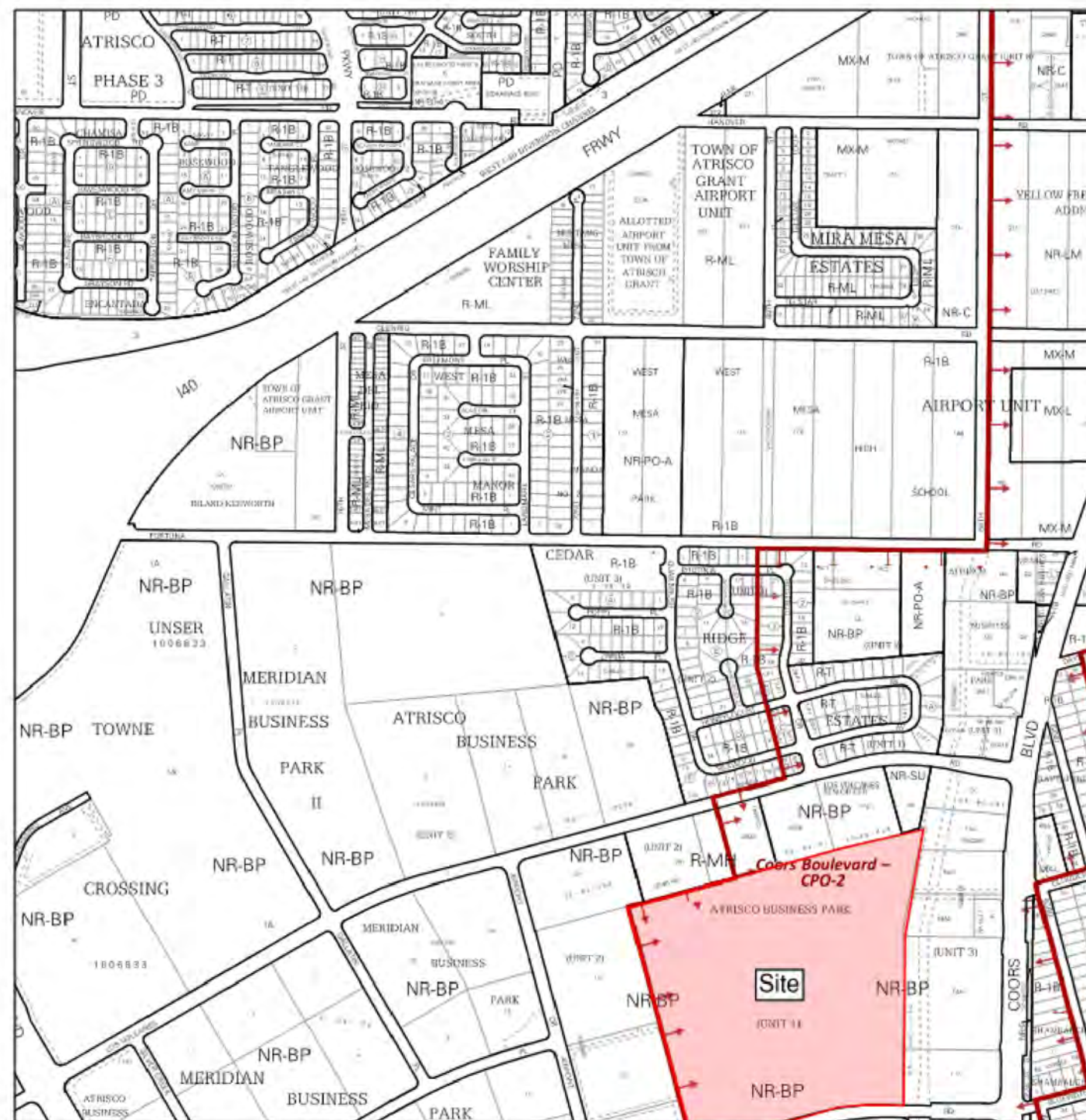


<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>NO.</td><td>REVISION</td><td>BY</td><td>DATE</td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	REVISION	BY	DATE																
NO.	REVISION	BY	DATE																		
<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>																					
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT CONCEPTUAL GRADING & DRAINAGE PLAN</p>																					
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 10px; font-weight: bold;">Kimley»Horn</p> <p style="font-size: 8px;">Kimley-Horn and Associates, Inc.</p>																					
<p>PROJECT NO. 096523009</p> <p>SHEET D2</p>																					

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED, REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



FLOOD ZONE MAP
FIRM PANEL: 35001C0329H



ZONING MAP
J-10-Z

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD.

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

HYDROLOGY CALCULATIONS

BASIN #1	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

BASIN #2	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#1	24,394	0.83	6,000	59	Meets Required Drain Time

Pond Volume **0.56** ac-ft

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#2	4,792	0.83	2,600	27	Meets Required Drain Time

Pond Volume **0.11** ac-ft



Kimley»Horn

©2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 11/06/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
HYDROLOGY DATA

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

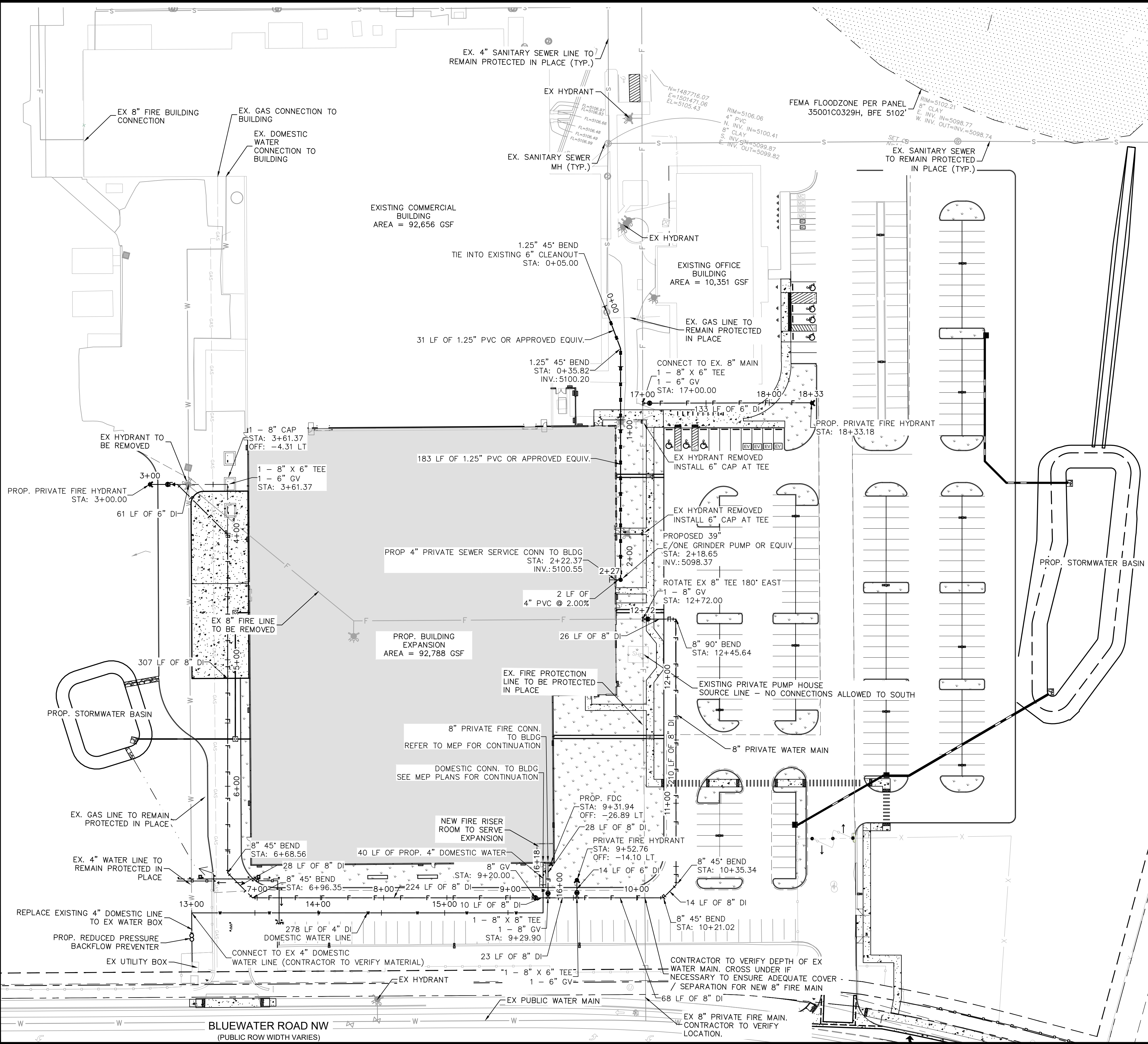
PROJECT NO.
096523009

SHEET

D3

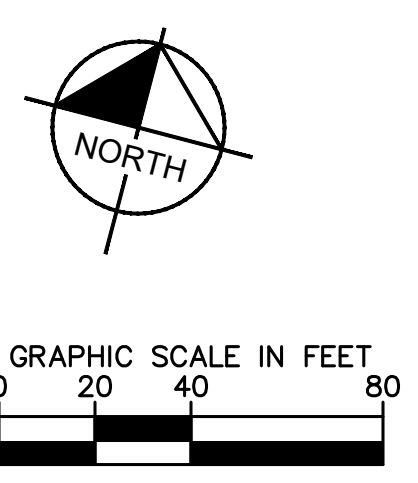
NO.	REVISION	BY	DATE	APPR

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



- LEGEND:**
- PROPERTY LINE
 - ADJACENT SECTION LINE
 - EX. UTILITY ESMT
 - EX. WROUGHT IRON FENCE
 - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - S --- EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - OHE --- EX. OVERHEAD ELECTRICAL
 - GAS --- EX. GAS LINE
 - EX. STORM INLET
 - ⊙ EX. SITE LIGHT
 - EX. SIGN
 - PROP. 6" VERTICAL CURB
 - PROP. BUILDING
 - PROP. FIRE LANE
 - W --- EX. WATER LINE
 - F --- EX. FIRE PROTECTION LINE
 - W-W-W --- PROP. DOMESTIC LINE
 - SS-SS-SS --- PROP. PRIVATE SEWER SERVICE
 - F-F-F --- PROP. PRIVATE FIRE LINE
 - PROP. BUILDING SETBACK

- UTILITY GENERAL NOTES:**
- ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
 - SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDINGS.
 - REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 - CONTRACTORS TO NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
 - SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE = PVC SDR 35 PER ASTM D 304
 - WATER LINES SHALL BE AS FOLLOWS:
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON PER AWA C-150
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
 - CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.



NO.	REVISION	BY	DATE	APPROV.

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 26/02/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

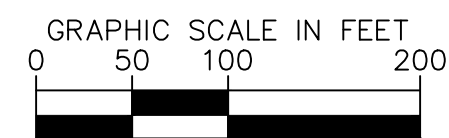
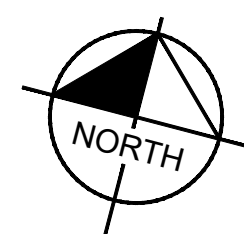
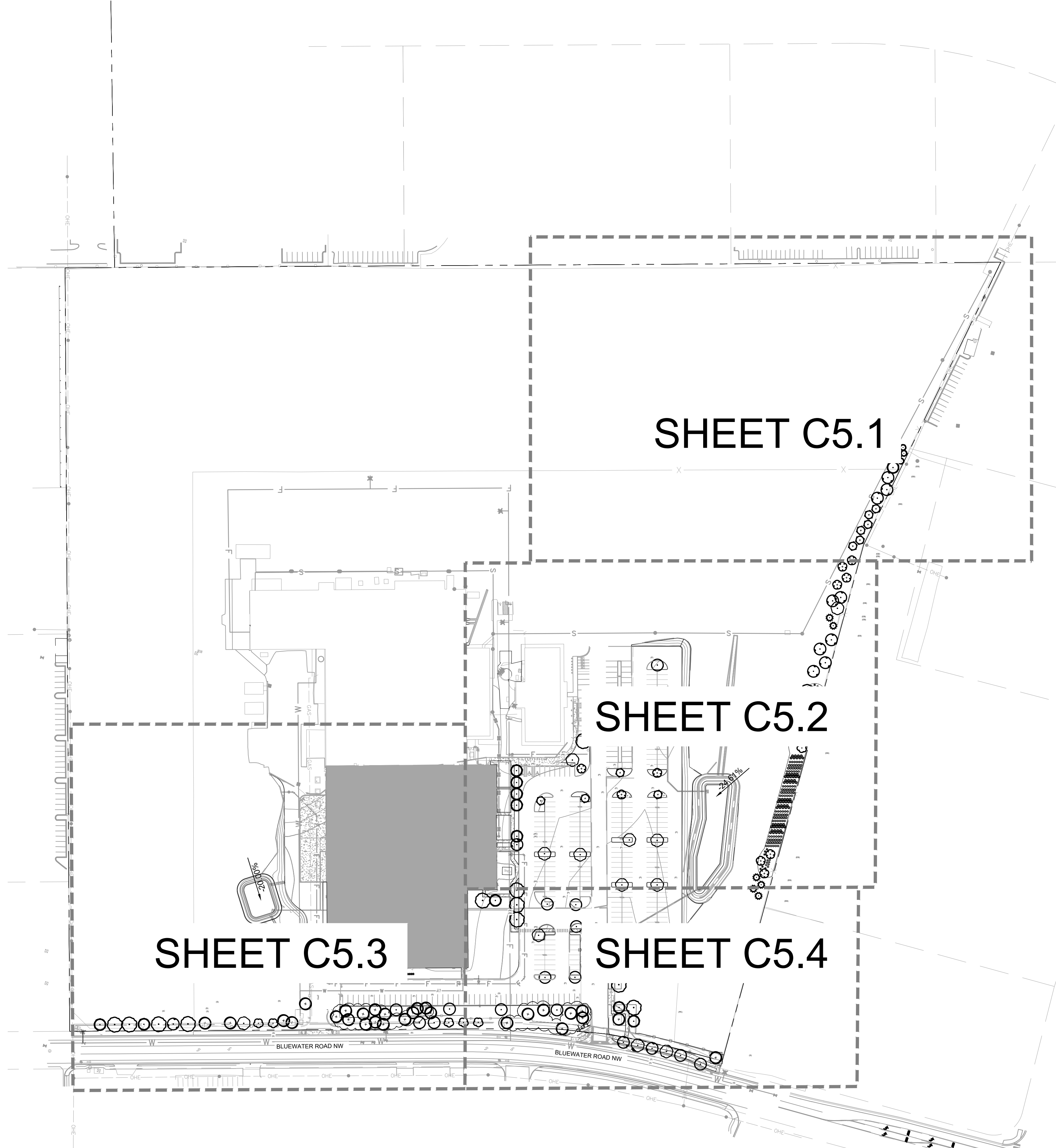
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 PRIVATE UTILITY PLAN



PROJECT NO.
096523009

SHEET
C4.0

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND REVISIONS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND WAIVER OF, AND WAIVER OF, RELEASE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ACCEPTANCE BY CLIENT, KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



CONSTRUCTION BID NOTES:

1. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
2. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
3. ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.

LANDSCAPE NOTES:

1. TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
2. NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
3. THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
4. VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
5. TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
6. IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EIWS
 DATE: 2/26/2024

LEGAL DESCRIPTION:
 TRACT A, ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

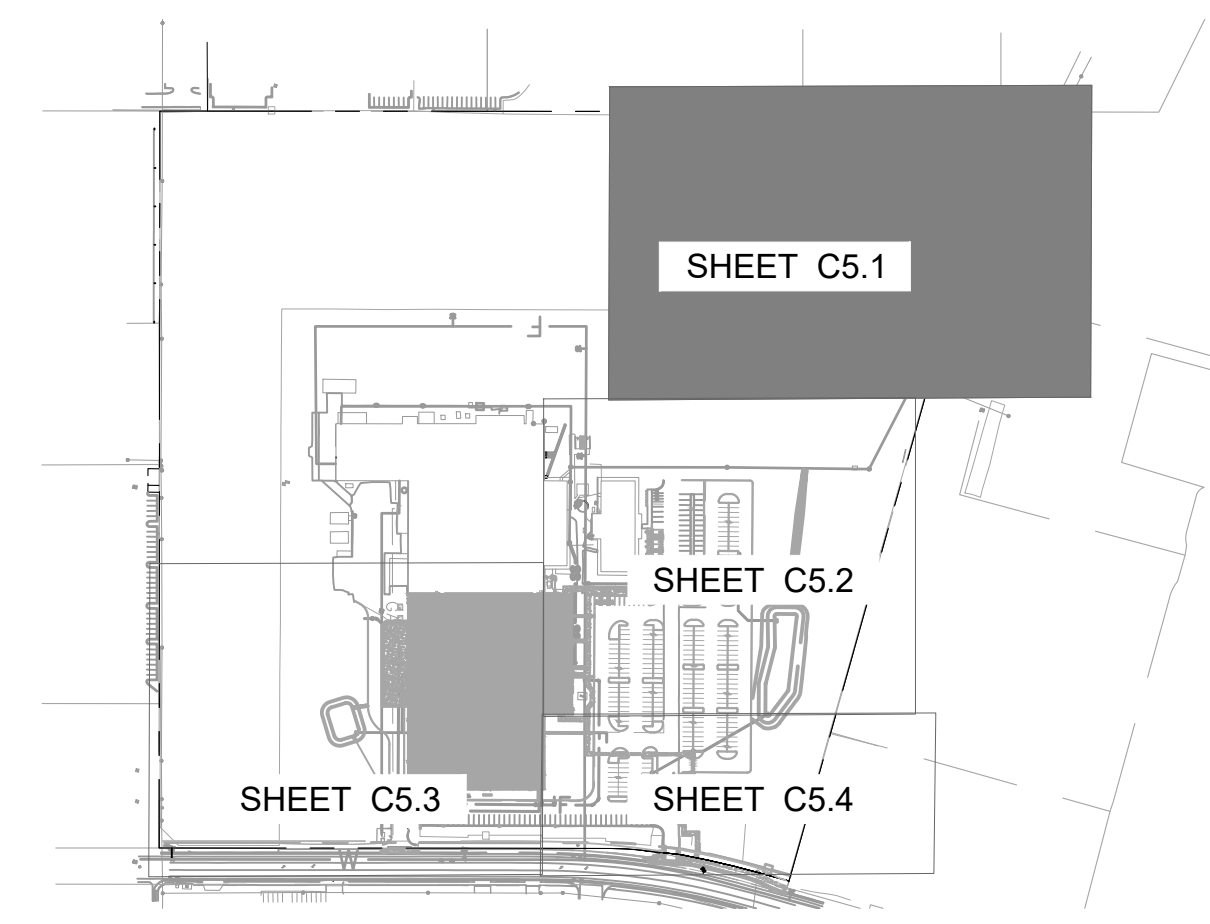
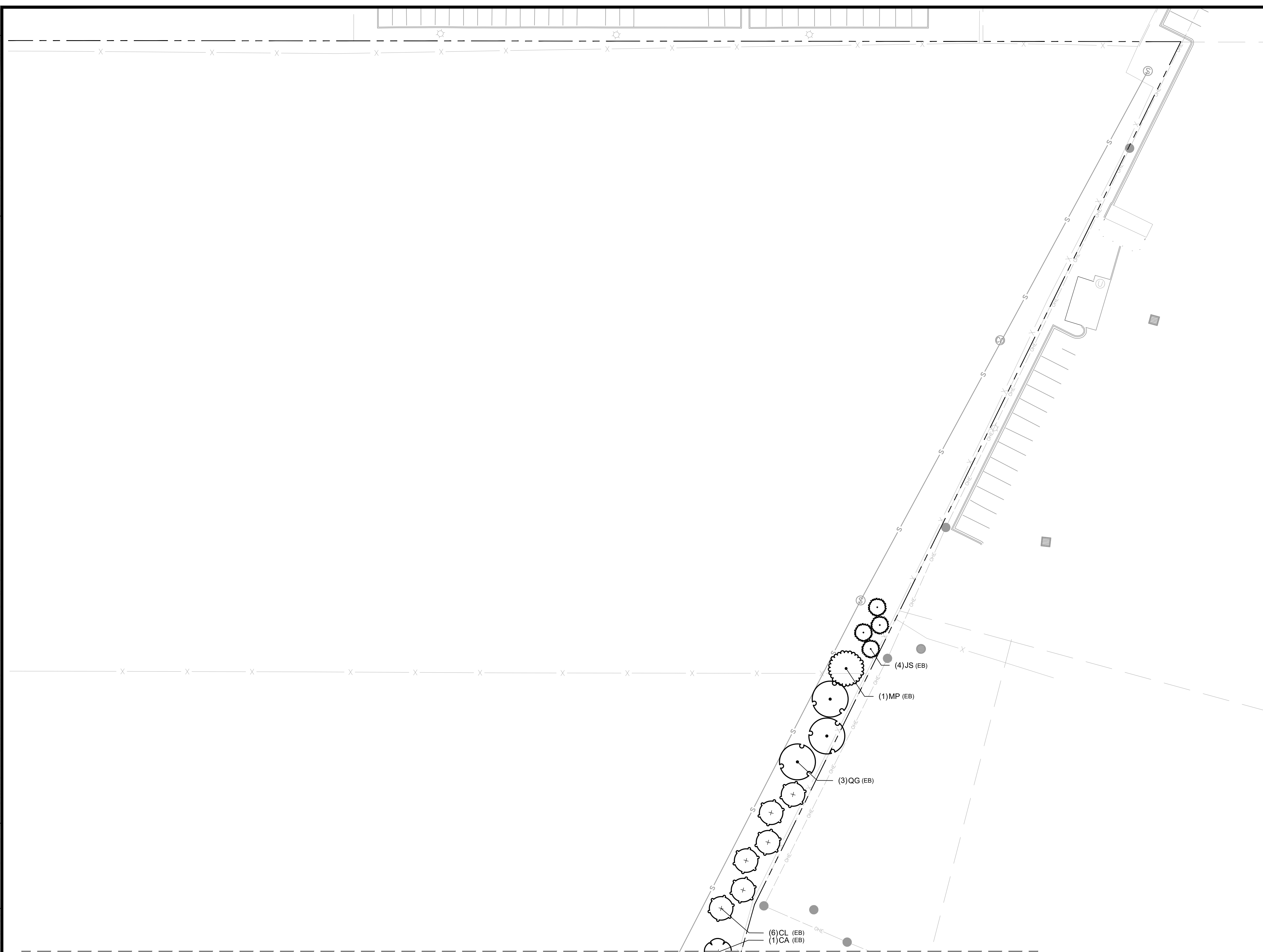
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 OVERALL LANDSCAPE PLAN





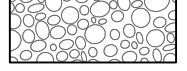
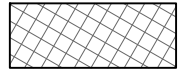
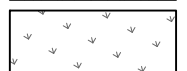
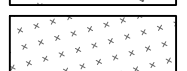
PROJECT NO.
 096523009

SHEET
C5.0

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND ANY ADDENDUMS HERETO, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND DEPENDENCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION OF LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITH OUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

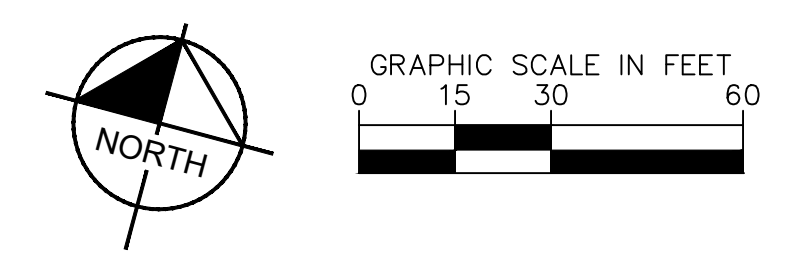


 NORTH
KEY MAP
N.T.S

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME
GROUND COVERS							
	XL2	8,281 SF		8,281 SF		1-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH
	XT	4,093 SF		4,093 SF		2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH
	RM	56,891 SF	9,350 SF	37,750 SF	9,791 SF	3/4"-1" ROCK MULCH	TO MATCH EXISTING
	XL	24,890 SF		24,890 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX

MATCHLINE; SEE SHEET C5.2

- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.



SEE SHEET C5.9 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE

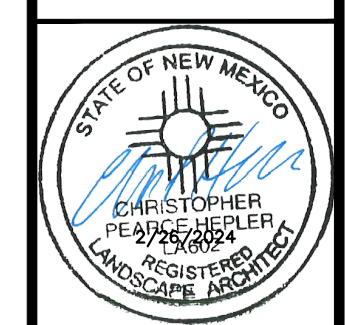
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 2/26/2024

LEGAL DESCRIPTION:
TRACT A, TRISCO BUSINESS
PARK, UNIT 1, CONTAINING
39.775 ACRES

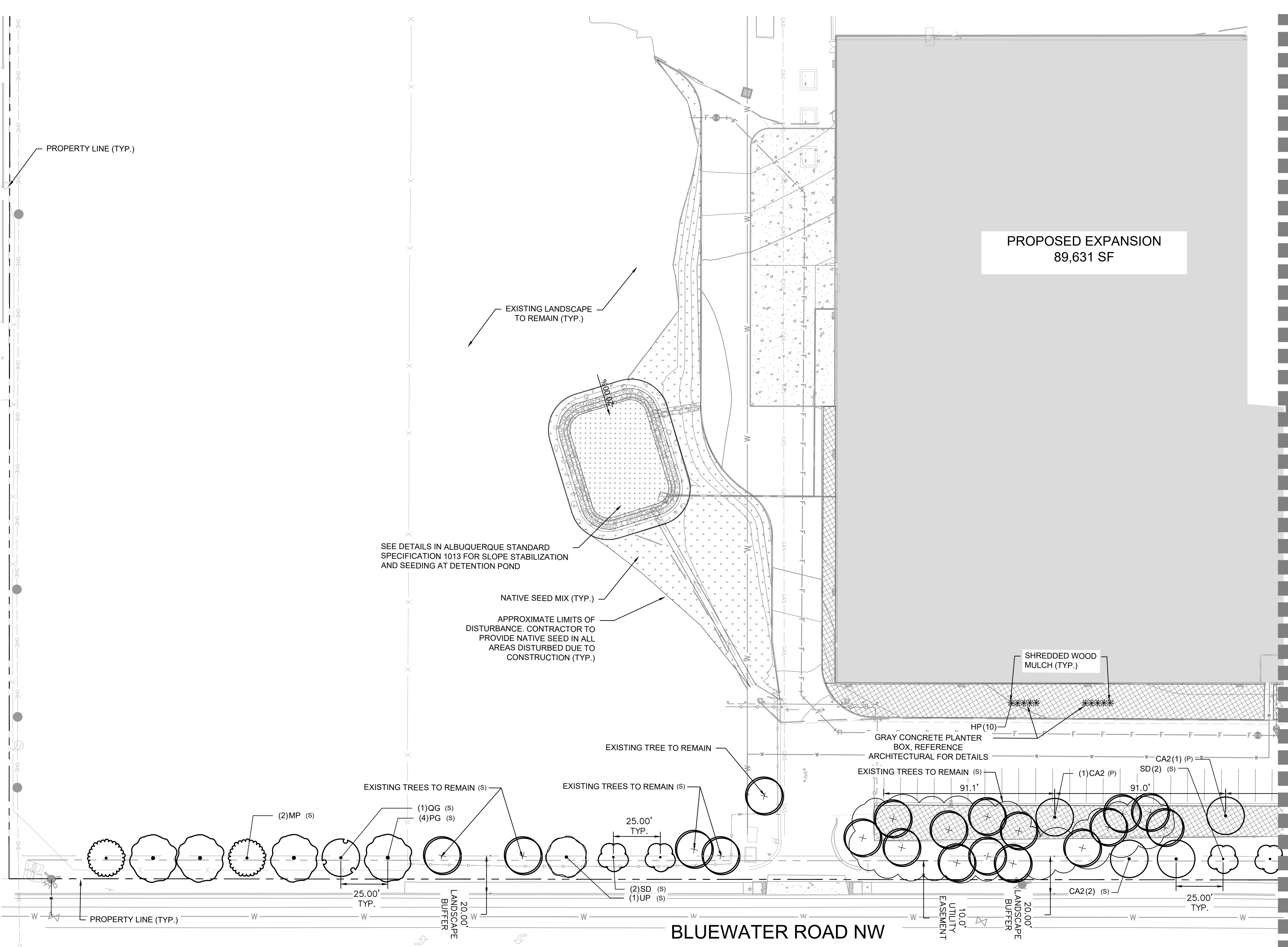
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
DETAILED LANDSCAPE PLAN



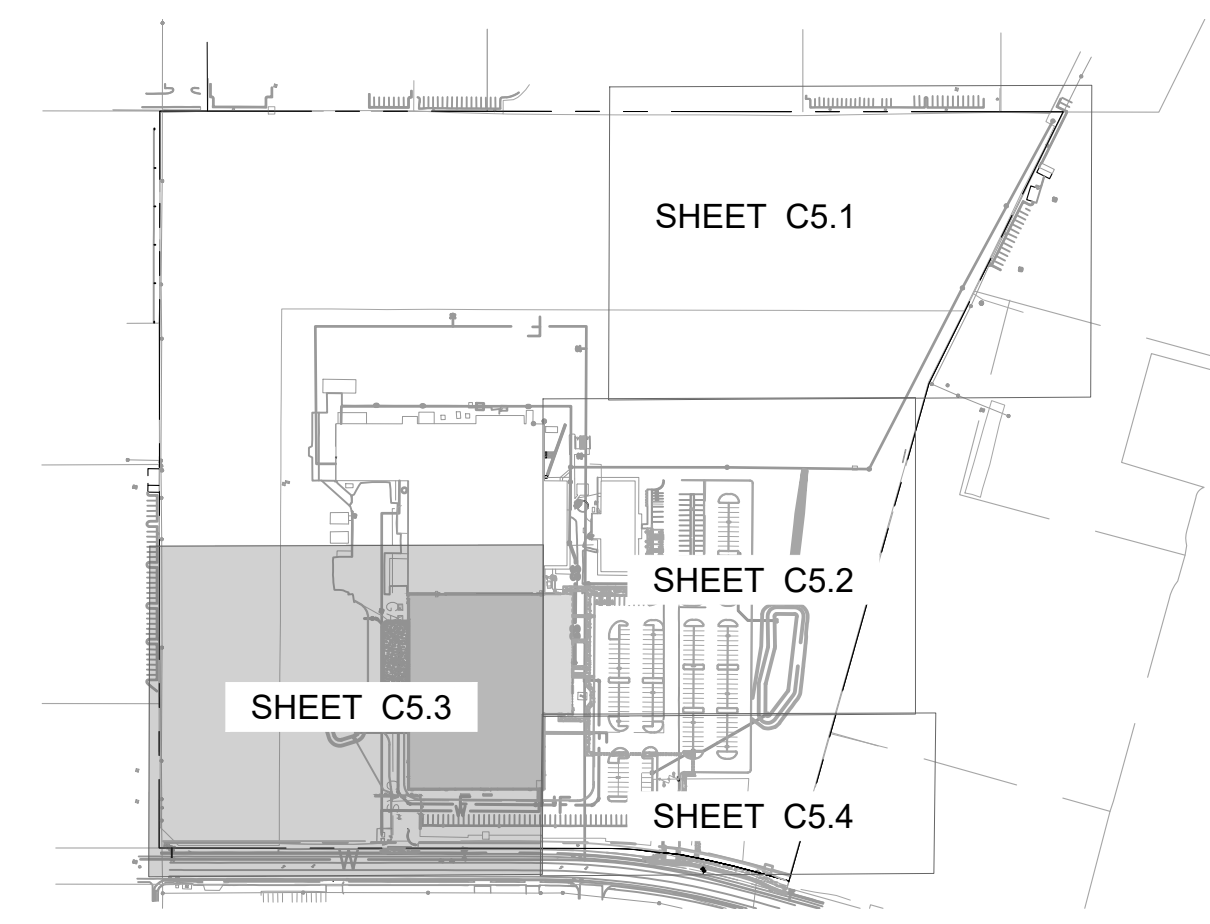
PROJECT NO.
096523009

SHEET
C5.1

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, SHALL BE CONSIDERED AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND GENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATIONS TO THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION OF LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**PROPOSED EXPANSION
89,631 SF**

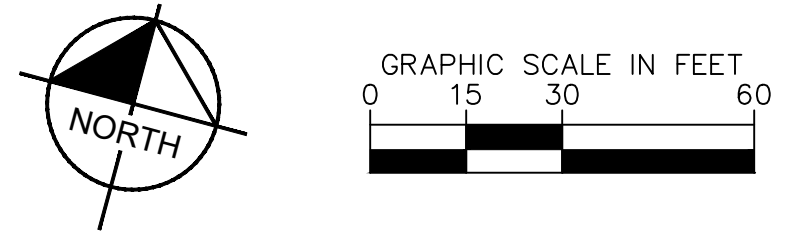


MATCHLINE: SEE SHEET C5.2

MATCHLINE: SEE SHEET C5.4

SYMBOL	CODE	QTY	BOTANICAL NAME
GROUND COVERS			
	XL2	8,281 SF	14" AGGREGATE MULCH ROCK
	XT	4,093 SF	24" AGGREGATE MULCH ROCK
	RM	56,891 SF	3/4"-1" ROCK MULCH
	XL	24,890 SF	APPLEWOOD NATIVE SEED MIX
	XA	8,060 SF	APPLEWOOD SEED MIX

SEE SHEET C5.9 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

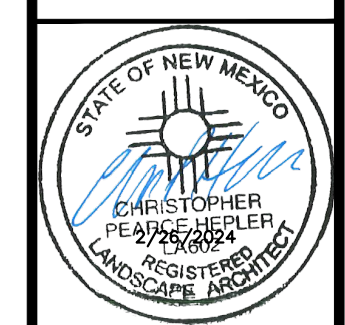
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EIWS
 DATE: 2/26/2024

LEGAL DESCRIPTION:
 TRACT A, ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

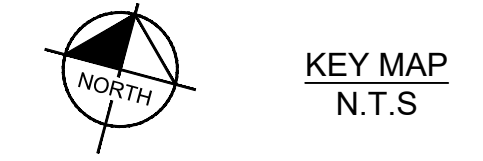
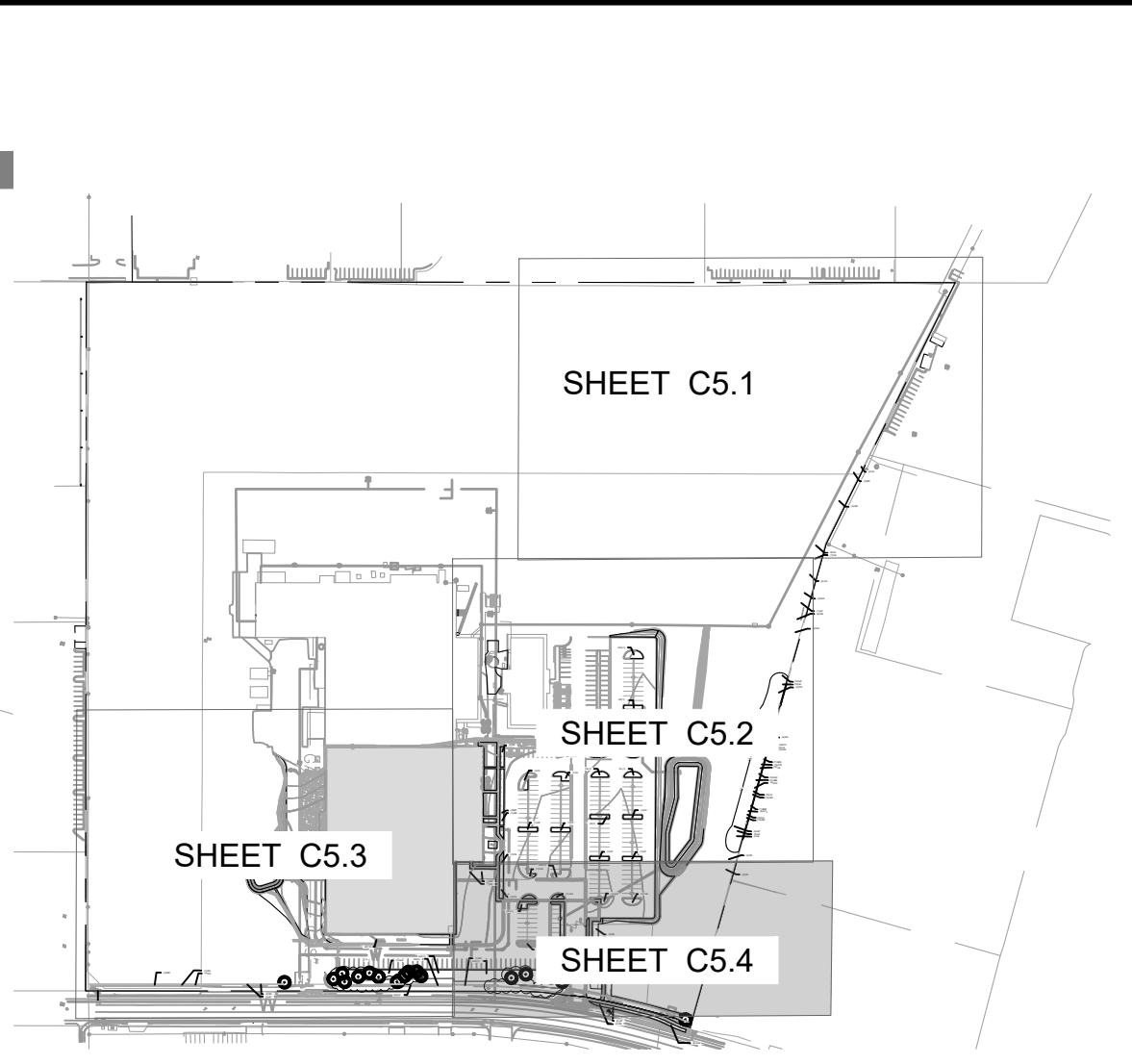
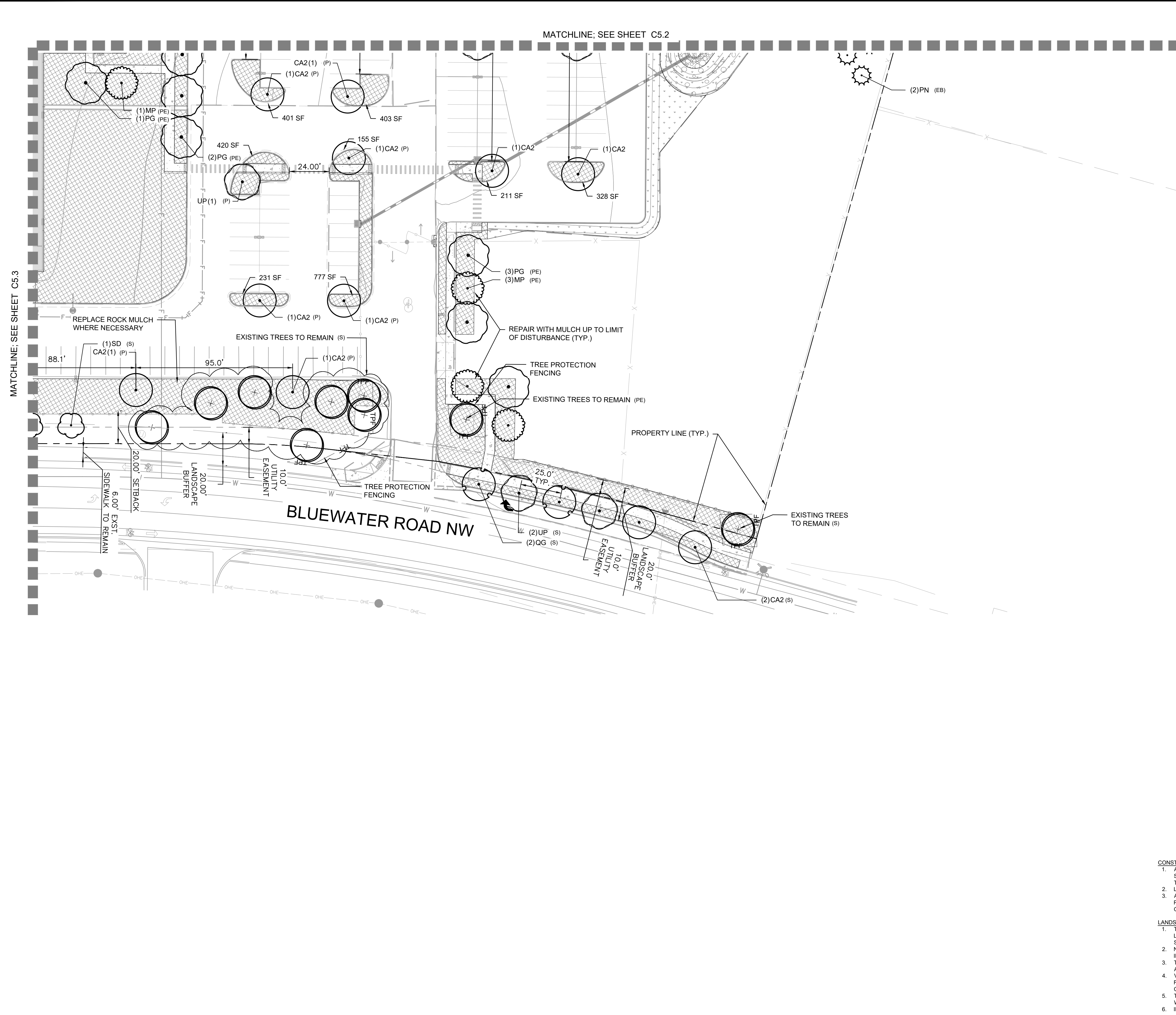
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED LANDSCAPE PLAN



PROJECT NO.
096523009

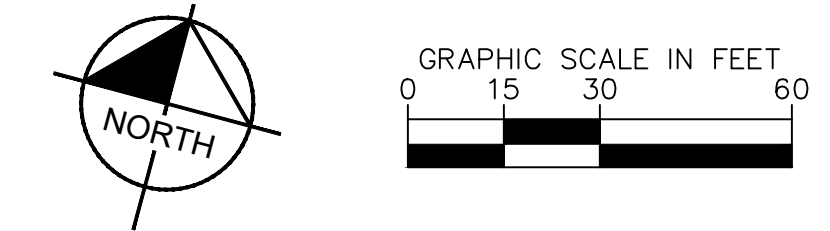
SHEET
C5.3

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND RESCINUS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND GOVT FOR WHICH IT WAS PREPARED. REVIEW OF AND WARRORS, RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



SYMBOL	CODE	QTY	BOTANICAL NAME
GROUND COVERS			
	XL2	8,281 SF	14" AGGREGATE MULCH ROCK
	XT	4,093 SF	24" AGGREGATE MULCH ROCK
	RM	56,891 SF	3/4"-1" ROCK MULCH
	XL	24,890 SF	APPLEWOOD NATIVE SEED MIX
	XA	8,060 SF	APPLEWOOD SEED MIX

SEE SHEET C5.9 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

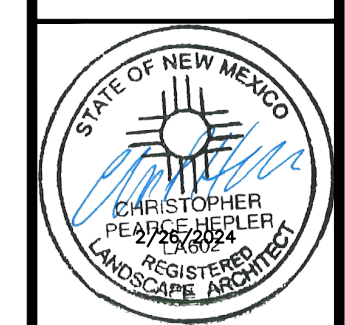
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EIWS
 DATE: 2/26/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

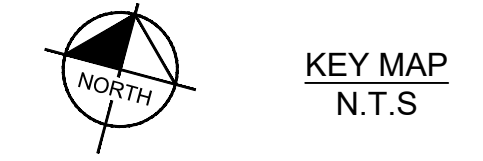
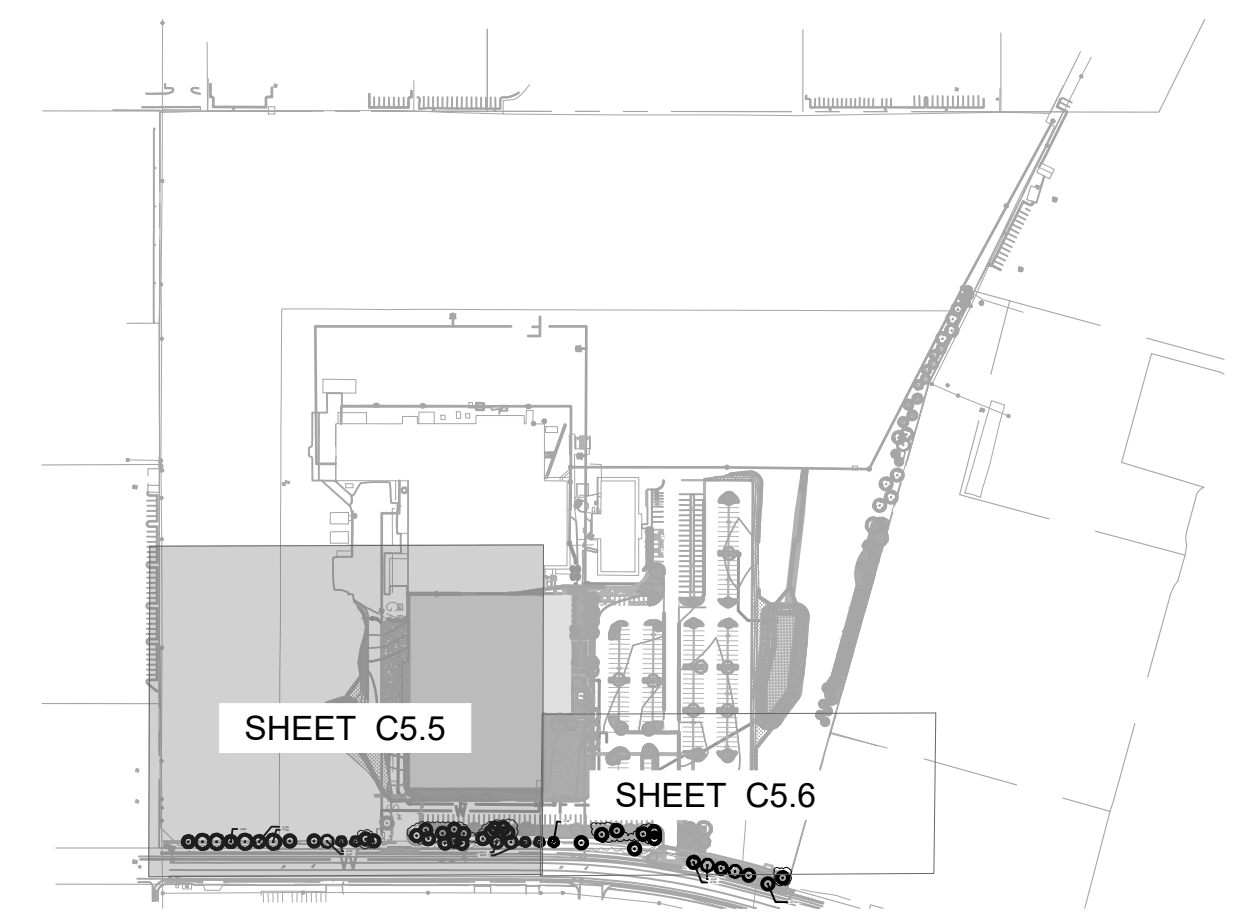
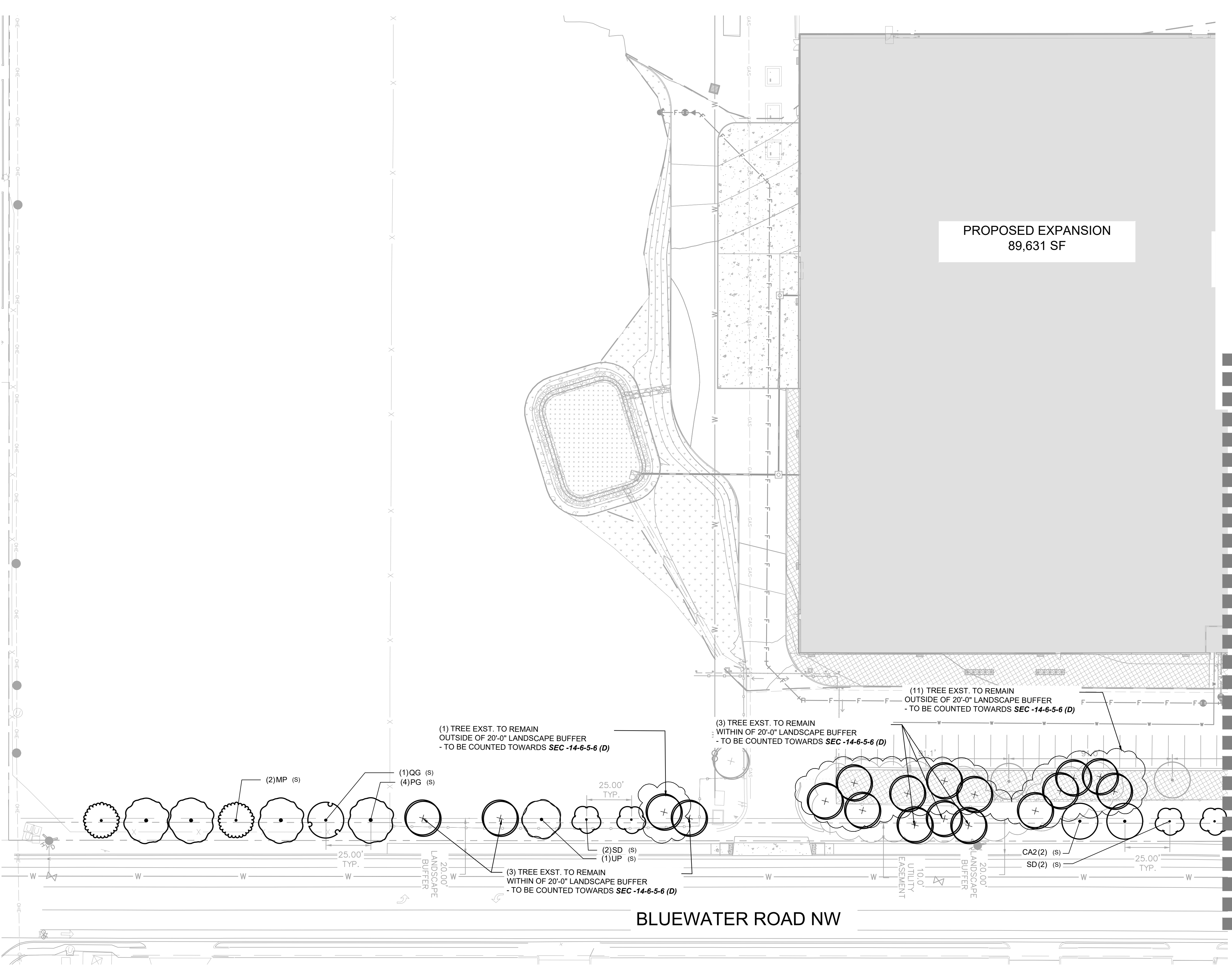
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED LANDSCAPE PLAN



PROJECT NO.
096523009

SHEET
C5.4

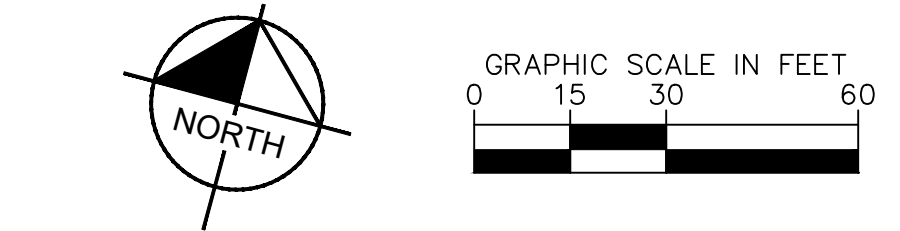
THIS DOCUMENT, TOGETHER WITH THE CONTRACT AND SPECIFICATIONS, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND GENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATIONS TO THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



ALTERNATE LANDSCAPE
STREET FRONTAGE 14-6-5-6(D)

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROPOSED	21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ.	26 TREES
EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER	8 TREES
EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	18 TREES
TOTAL TREES PROVIDED (EXISTING AND PROPOSED)	47 TREES

MATCHLINE: SEE SHEET C5.6



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

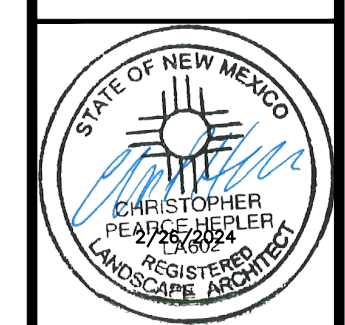
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 2/26/2024

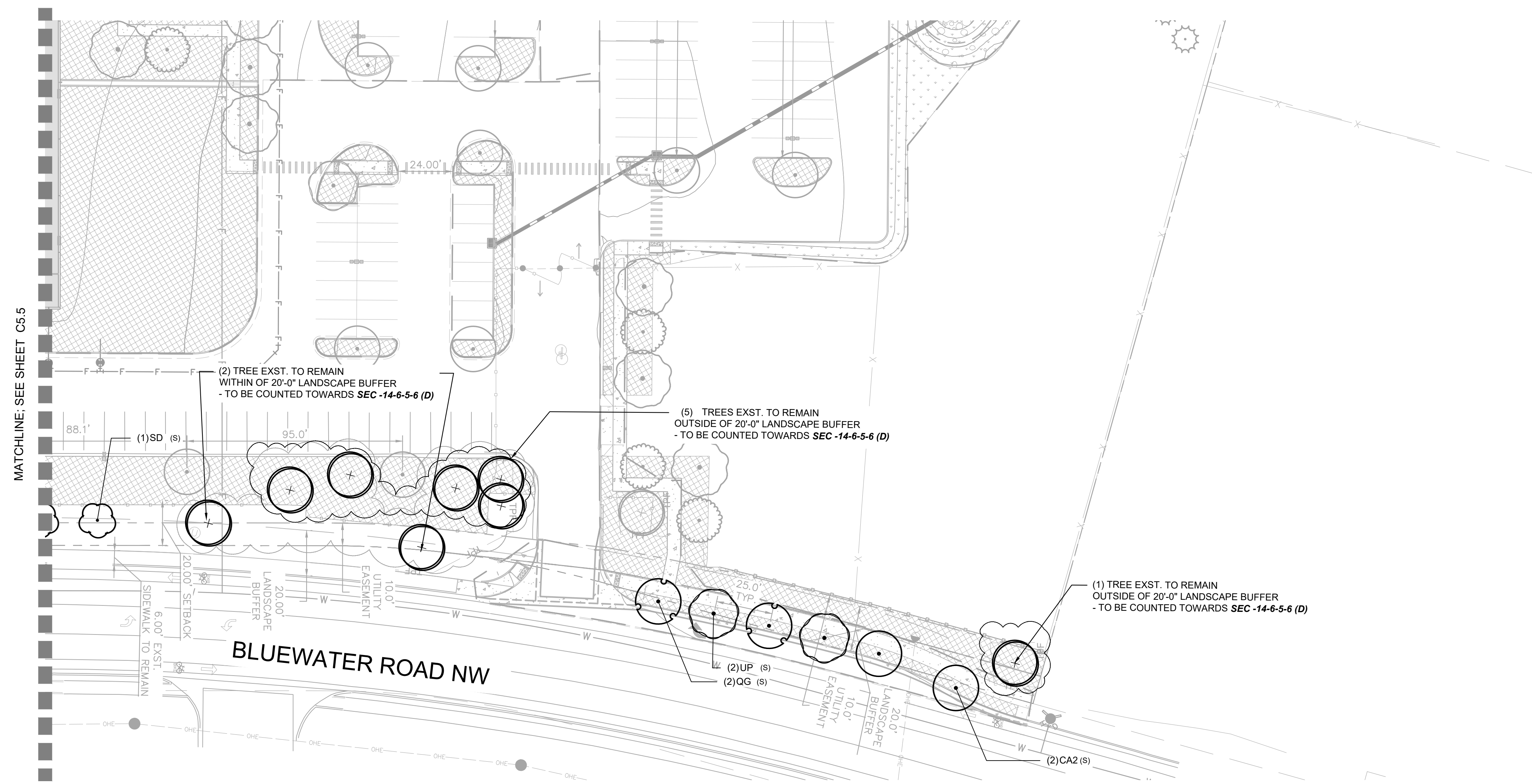
LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
ALTERNATE LANDSCAPE PLAN

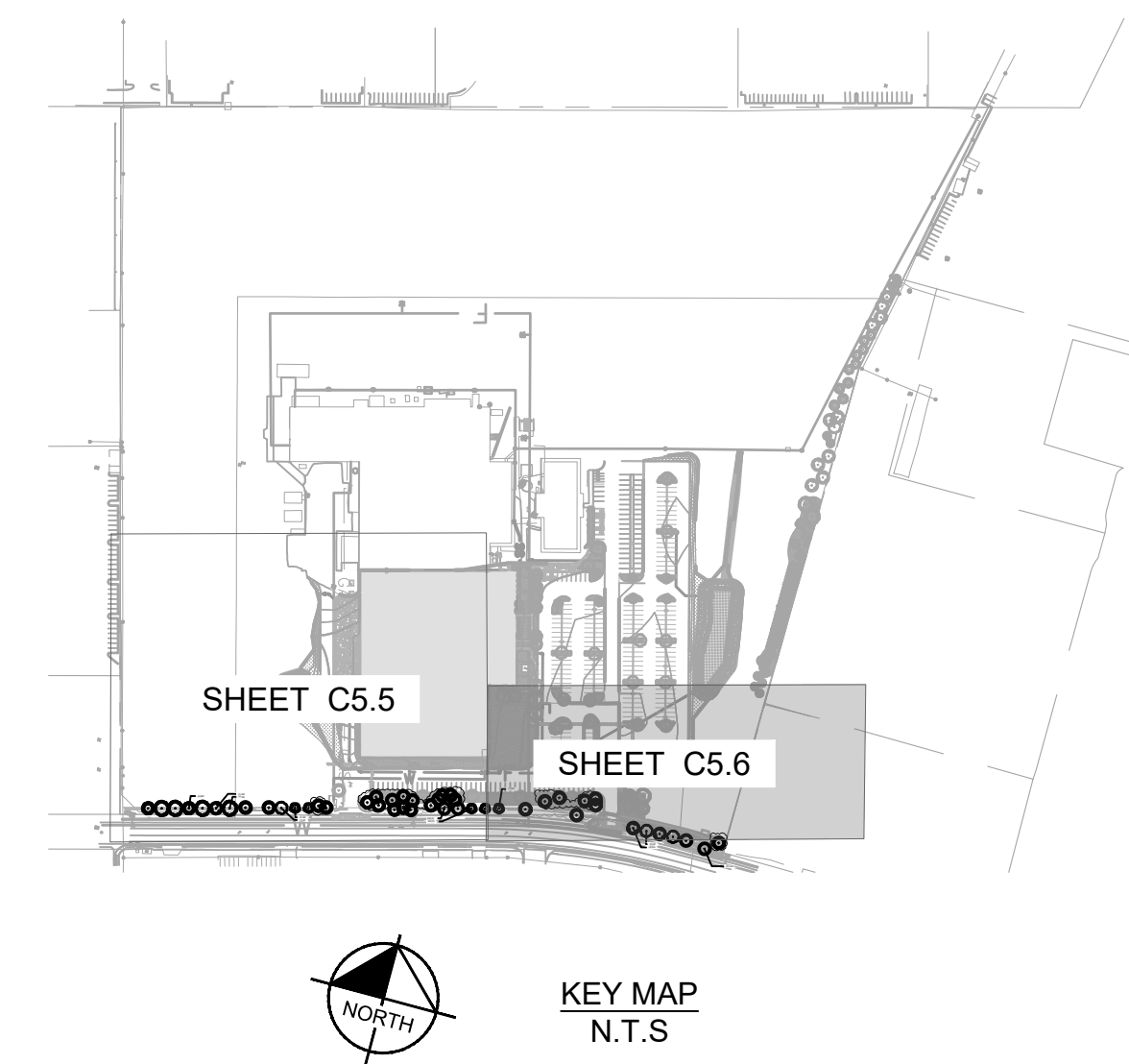


PROJECT NO.
096523009
SHEET
C5.5

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND REVISIONS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND HARDSHIP, RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

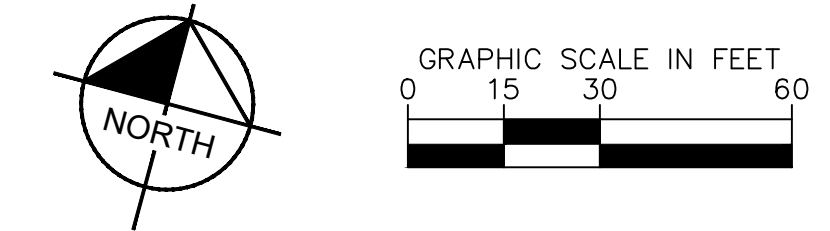


MATCHLINE: SEE SHEET C5.5



ALTERNATE LANDSCAPE
STREET FRONTAGE 14-6-5-6(D)

1 TREE / 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROPOSED	21 TREES
TOTAL EXISTING TREES TO REMAIN FOR STREET FRONTAGE REQ.	26 TREES
EXISTING TREES WITHIN 20'-0" LANDSCAPE BUFFER	8 TREES
EXISTING TREES OUTSIDE 20'-0" LANDSCAPE BUFFER	18 TREES
TOTAL TREES PROVIDED (EXISTING AND PROPOSED)	47 TREES



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

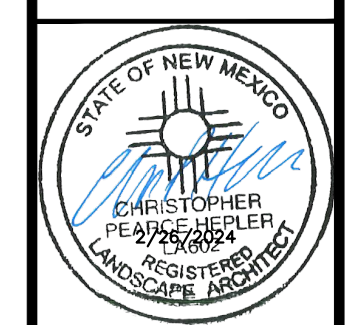
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 2/26/2024

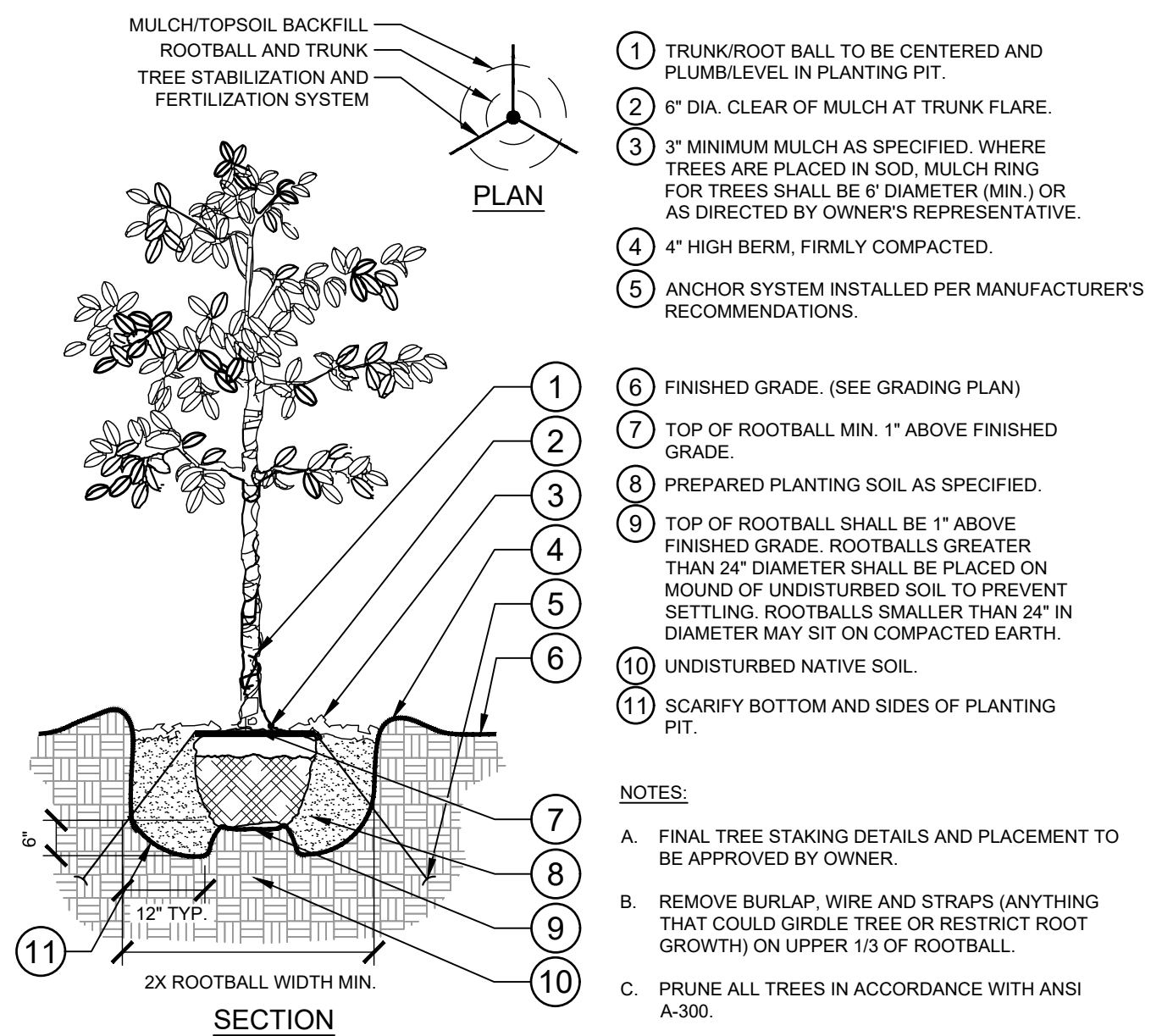
LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
ALTERNATE LANDSCAPE PLAN

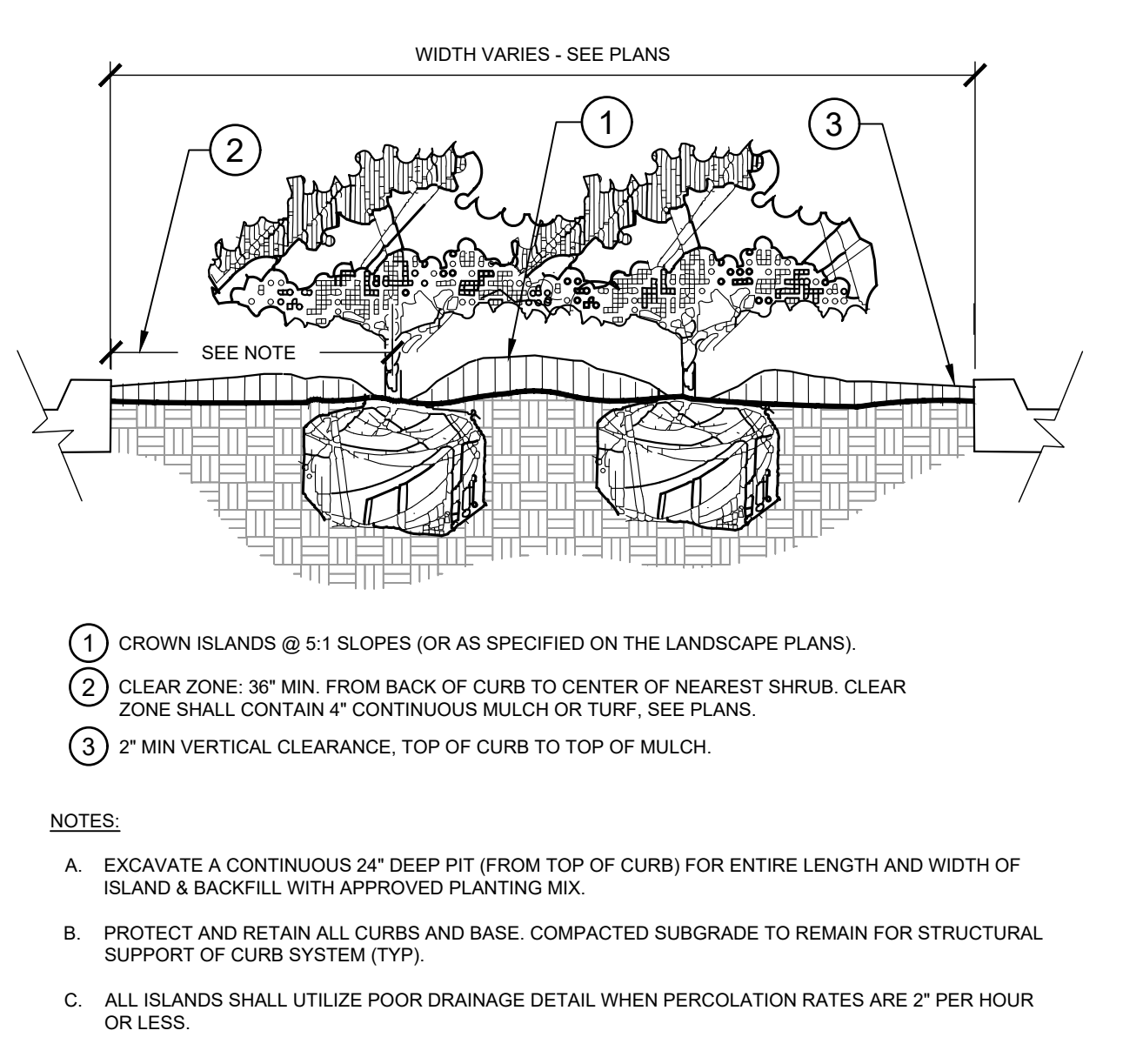


PROJECT NO.
096523009
SHEET
C5.6

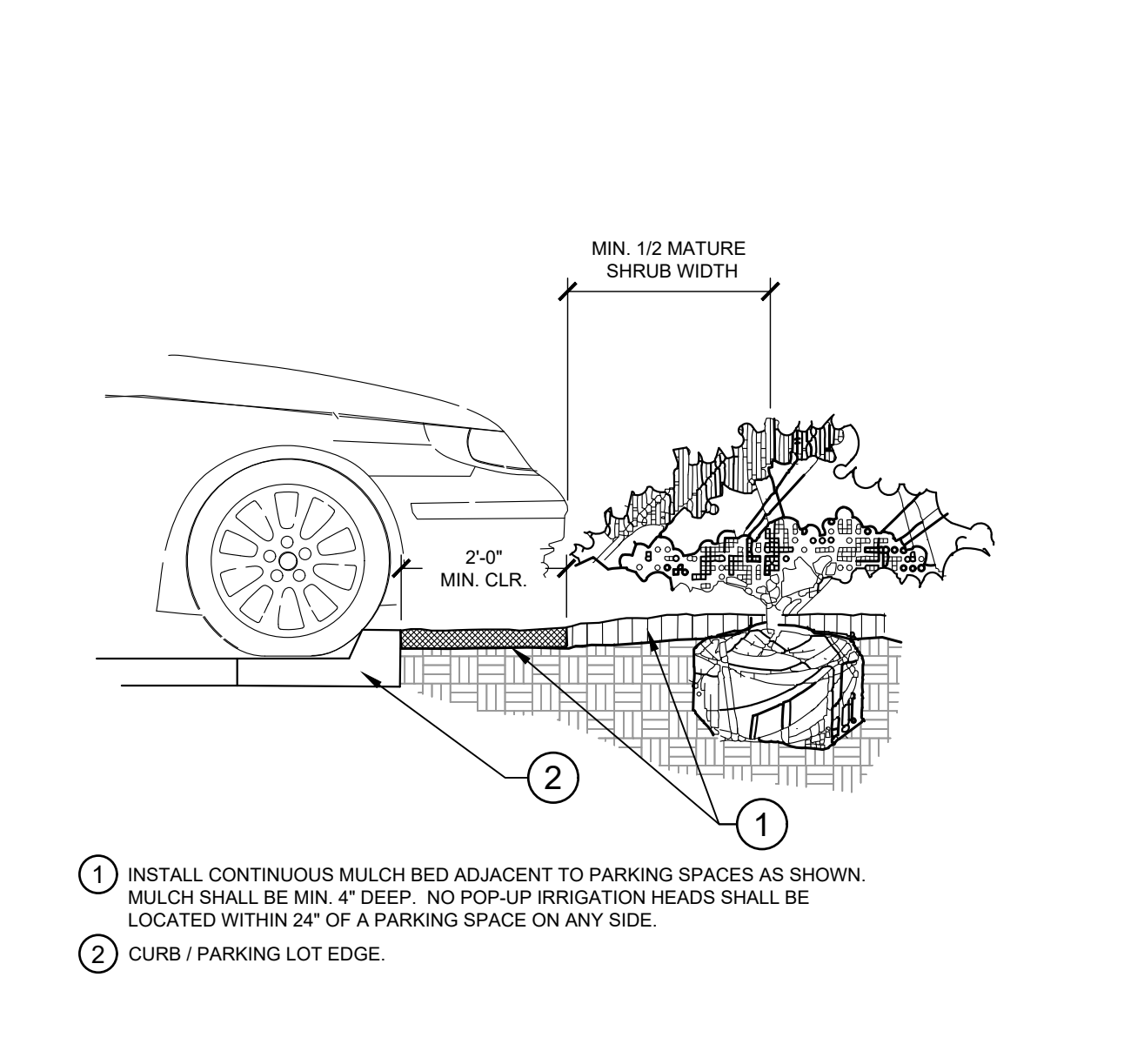
THIS DOCUMENT, TOGETHER WITH THE CONTRACT, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND GENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATIONS TO THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND AGREEMENT BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



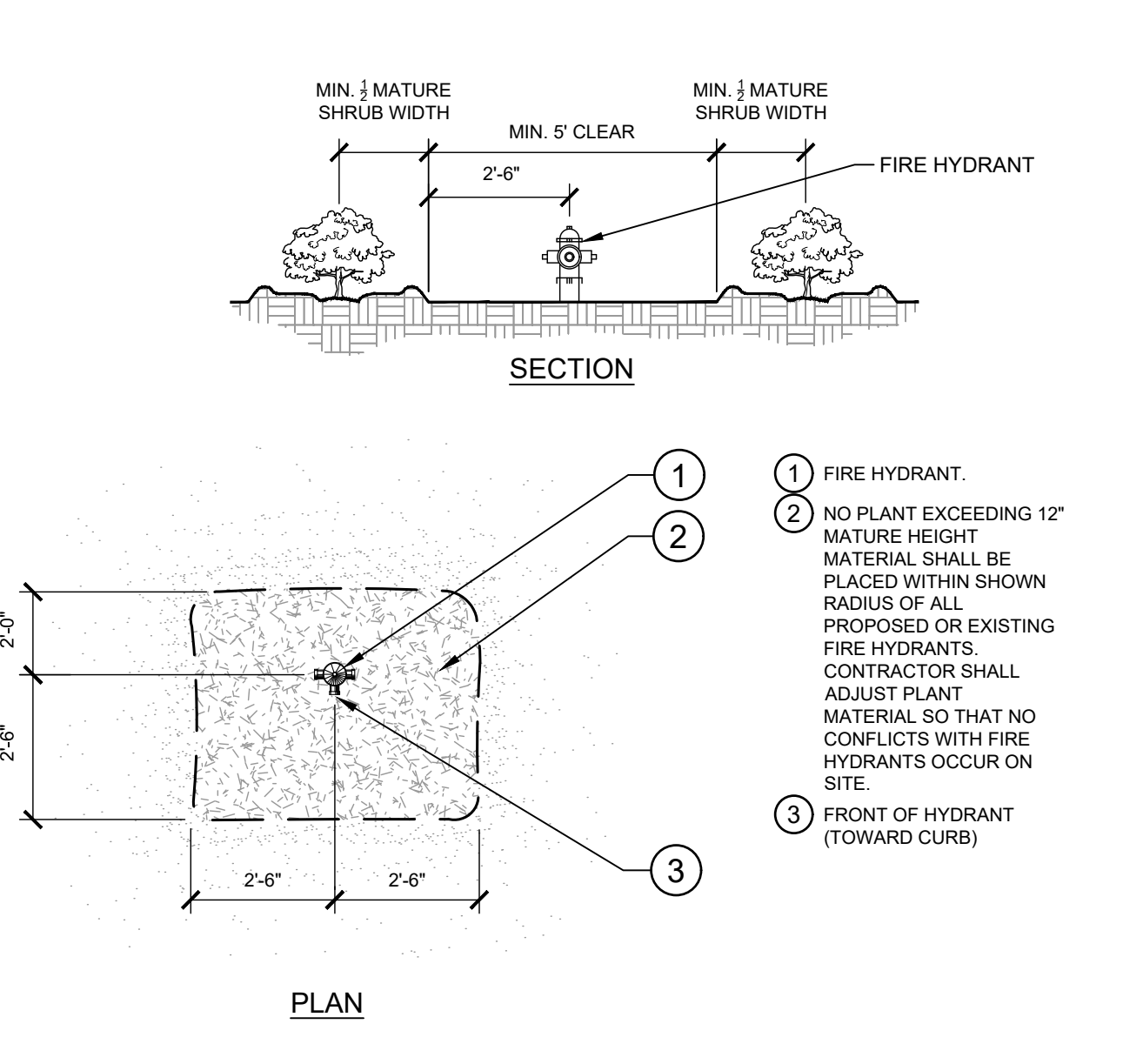
1 TREE PLANTING
SECTION / PLAN
NTS



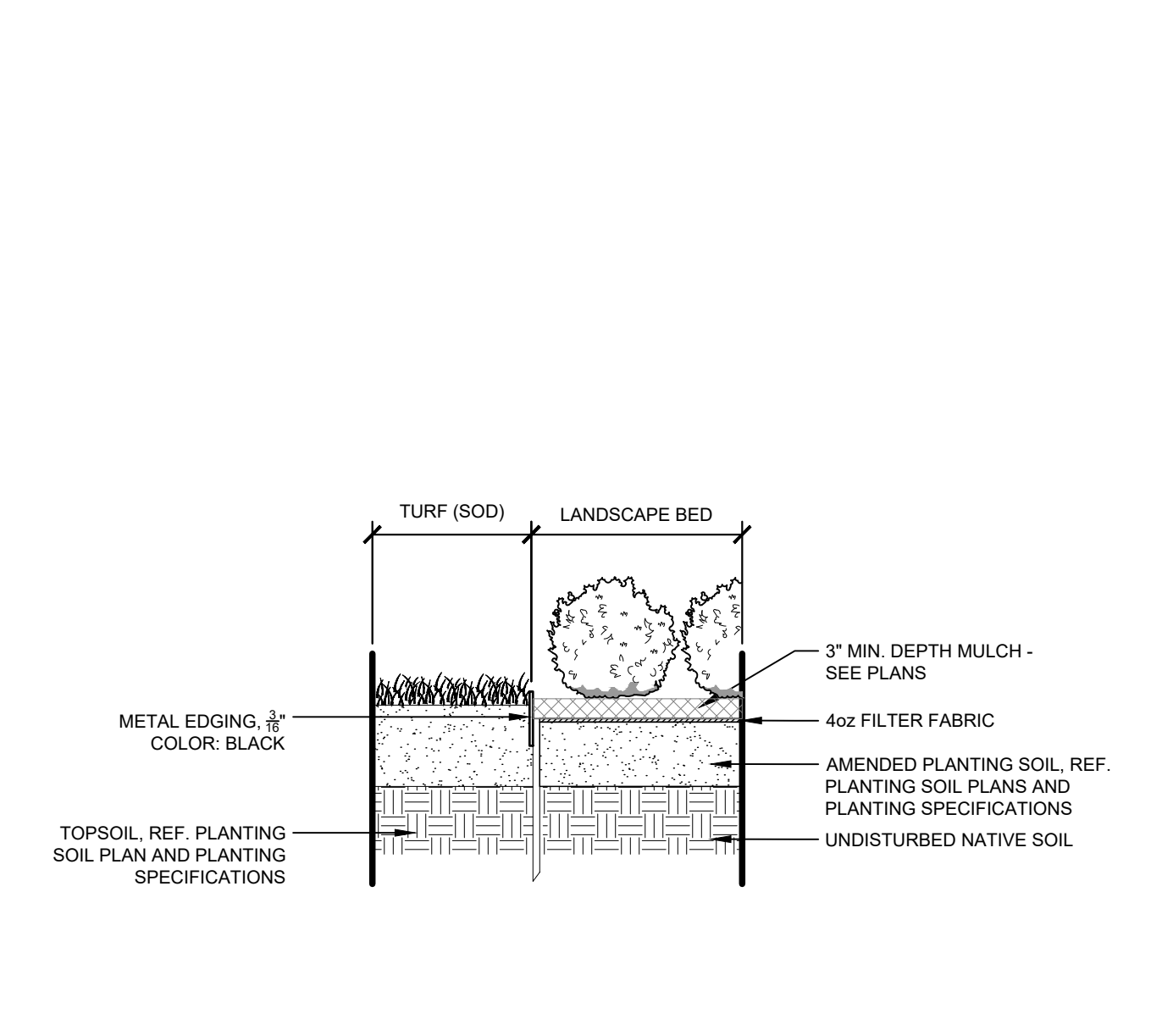
2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



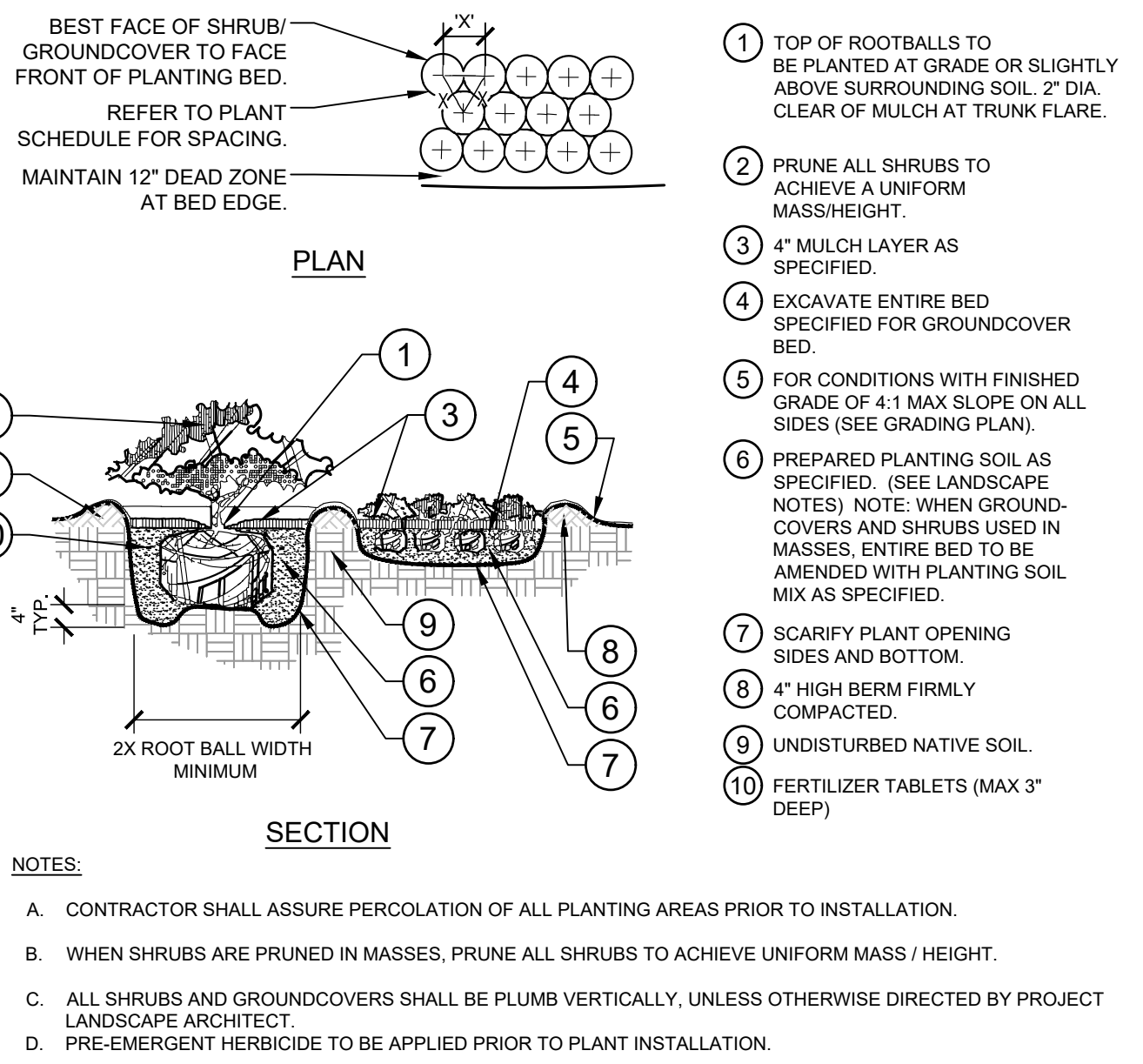
3 PARKING SPACE/CURB PLANTING
SECTION
NTS



4 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS



5 METAL EDGER AT PLANTING BED
SECTION / PLAN
1" = 1"
096523-009-21



6 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGOSA
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA
NURSE CROPS:	
COMMON OATS	AVENA SATIVA
ANNUAL RYE	LOLIUM MULTIFLORUM

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER. PRODUCT CODE: DBWT PLANTING RATE: 35 LBS./ACRE *MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES. NOTE: POND STABILIZATION TO FOLLOW SECTION 1013. SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND

NATIVE SEED MIX

SANDY SOILS	#PLS/AC
Hilaria jamesii 'Viva' - Galleta	7.0
Oryzopsis hymenoides 'Paloma' - Indian Rice Grass	5.0
Bouteloua gracilis 'Hachita' - Blue Grama	2.0
Bouteloua curtipendula 'Vaughn' - Sideoats Grama	1.0
Agropyron smithii 'Arriba' - Western Wheat	1.0
Sporobolus cryptandrus - Sand Dropseed	1.0
Sporobolus airoides 'Salado' - Alkali Sacaton	1.0
Artemisia frigida - Fringed sagebush	.25
Sphaeralcea ambigua - Desert Globemallow	.25
Sphaeralcea parvifolia - Nelson Globemallow	.25
Helianthus annuus	.5
Oenothera pallida - White Evening Primrose	.25
Baileya multiradiata - Desert Marigold	.25
Abronia fragrans or Abronia villosa - Sand Verbena	.25
Dalea purpurea var purpurea - Purple Prairie Clover	.25
Machaeranthera canescens - Hoary tansyaster	.25
Berlandiera lyrata - Chocolate Flower	.25
Ratibida columnifera forma pulcherrima - Mexican Hat	.25

NOTE: POND STABILIZATION TO FOLLOW SECTION 1013. SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND.

SEED RATE IS GIVEN IN POUNDS OF PURE LIVE SEED (PLS) PER ACRE. MIX SHALL INCLUDE AT LEAST FOUR OF THE WILDFLOWER SPECIES LISTED BELOW AT A TOTAL APPLICATION RATE OF AT LEAST 2.0# PLS/AC.

NO.	REVISION	BY	DATE	APPR.

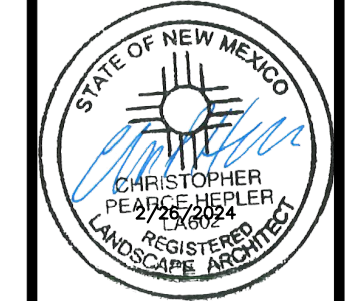
Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 2/26/2024

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
LANDSCAPE DETAILS

PROJECT NO.
096523009
SHEET
C5.8



THIS DOCUMENT, TOGETHER WITH THE CONTRACTS AND SPECIFICATIONS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND WARRORS RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

PLANT SCHEDULE LANDSCAPE AREA

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
TREES										
	XI	28	2		26	-----	EXISTING TREE TO REMAIN	-		
DECIDUOUS TREES										
	CA2	16		8	8	CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10' - 12' HT. MIN.
	MP	12	1	9	2	MACLURA POMIFERA	OSAGE ORANGE	B & B	2" CAL MIN	10' - 12' HT. MIN.
	PG	14	2	8	4	PROSOPIS GLANDULOSA	HONEY MESQUITE	B & B	2" CAL MIN	10' - 12' HT. MIN.
	QG	13	9	1	3	QUERCUS GAMBELII	GAMBEL OAK	B & B	2" CAL MIN	10' - 12' HT. MIN.
	SD	9	4		5	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
	UP	13	1	9	3	ULMUS PARVIFOLIA	LACEBARK ELM	B & B	2" CAL MIN	10' - 12' HT. MIN.
EVERGREEN TREES										
	JS	4	4			JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN
	PN	6	6			PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN
ORNAMENTAL TREES										
	CL	10	6	4		CHILOPSIS LINEARIS	DESERT WILLOW	B & B	2" CAL MIN	10' - 12' HT. MIN.
	CA	10	7	3		CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10' - 12' HT. MIN.
SHRUBS										
	AL	22	22			AMORPHA CANESCENS	LEADPLANT	5 GAL	SEE PLAN	18" FULL
	AW	48	48			ANISACANTHUS WRIGHTII	WRIGHT'S DESERT HONEYSUCKLE	5 GAL	SEE PLAN	18" HT MIN
	AT2	36	36			ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL	SEE PLAN	36" FULL
	BM	33	33			BUDDLEJA MARRUBIFOLIA	WOOLY BUTTERFLY BUSH	5 GAL	SEE PLAN	36" FULL
	HP	28	18	10		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	SEE PLAN	18" FULL
	LS	48	48			LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL	SEE PLAN	24" HT MIN
GROUND COVERS										
	XL2	8,281 SF		8,281 SF		1-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH	ROCK		
	XT	4,093 SF		4,093 SF		2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH	ROCK		
	RM	56,891 SF	9,350 SF	37,750 SF	9,791 SF	3/4"-1" ROCK MULCH	TO MATCH EXISTING	-		
	XL	24,890 SF		24,890 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX	SEED		
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED		

CODE TABLE

LANDSCAPE AREA
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF
TOTAL GROSS LOT AREA = 1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN) = 103,007 SF
TOTAL BUILDING AREA (PROPOSED) = 89,631 SF
NET LOT AREA = 1,547,153 SF

TOTAL NET LOT AREA = 1,547,153 x 20% =
TOTAL LANDSCAPE REQUIREMENT = 309,431 SF

EXISTING LANDSCAPE = 285,700 SF
PROPOSED LANDSCAPE = 94,658 SF
TOTAL LANDSCAPE AREA PROVIDED = 380,358 SF (24%)
*NOT COUNTING OVERLAPPING MULCH

EXISTING TREES TO BE REMOVED = 3 TREE
EXISTING TREES TO REMAIN = 28 TREES
PROVIDED SHADE TREES = 77 TREES
PROVIDED ACCENT/ORNAMENTAL TREES = 20 TREES
PROVIDED EVERGREEN TREES = 10 TREES

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA) 94,658 x 75% =
TOTAL COVERAGE REQUIREMENT = 70,933.5 SF
TOTAL COVERAGE PROVIDED = 109,657 SF
COVERAGE OF ROCK MULCH PROVIDED = 63,886.5 SF (66%)
COVERAGE OF GROUND-LEVEL PLANTS REQ. = 23,664.5 SF (25%)
COVERAGE OF GROUND-LEVEL PLANTS PROV. = 36,954 SF (39%)
*CALCULATION ASSUMES 20 SF PER GROUND PLANT AS AN AVERAGE MATURE SPREAD AND CANOPY COVERAGE

14-6-5-6(F) PARKING LOT LANDSCAPING (P)
242 PROPOSED PARKING STALLS
1 TREE EVERY 100'-0" FT OF PARKING
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED = 25 TREES
TOTAL TREES PROVIDED = 27 TREES

14-6-5-6(D) STREET TREE LANDSCAPING (S)
1,118 LF OF STREET FRONTAGE
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED = 45 TREES
TOTAL TREES PROVIDED = 21 TREES
EXISTING TREES TO REMAIN = 26 TREES
(8) EXISTING TREES ARE WITHIN 20'-0" LANDSCAPE BUFFER
(18) EXISTING TREES ARE OUTSIDE 20'-0" LANDSCAPE BUFFER

14-6-5-6(E) EDGE BUFFER LANDSCAPING (EB)
819 LF OF PERIMETER
1 TREE / PER 20 LF OF SITE PERIMETER REQUIRED = 41 TREES
5 SHRUBS / PER 20 LF OF SITE PERIMETER REQUIRED = 205 SHRUBS
TOTAL TREES PROVIDED = 41 TREES
TOTAL SHRUBS PROVIDED = 205 SHRUBS

14-6-5-6(C) PEDESTRIAN WALKWAYS (PE)
459 LF OF PEDESTRIAN WALKWAYS
1 TREE / PER 25 LF OF PEDESTRIAN WALKWAY REQUIRED = 19 TREES
TOTAL TREES PROVIDED = 19 TREES

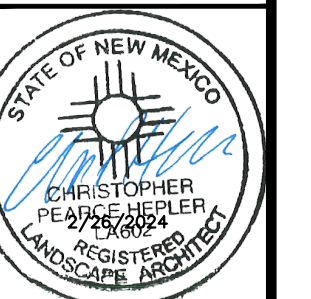
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIVS
DATE: 2/26/2024

LEGAL DESCRIPTION:
TRACT A, TRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

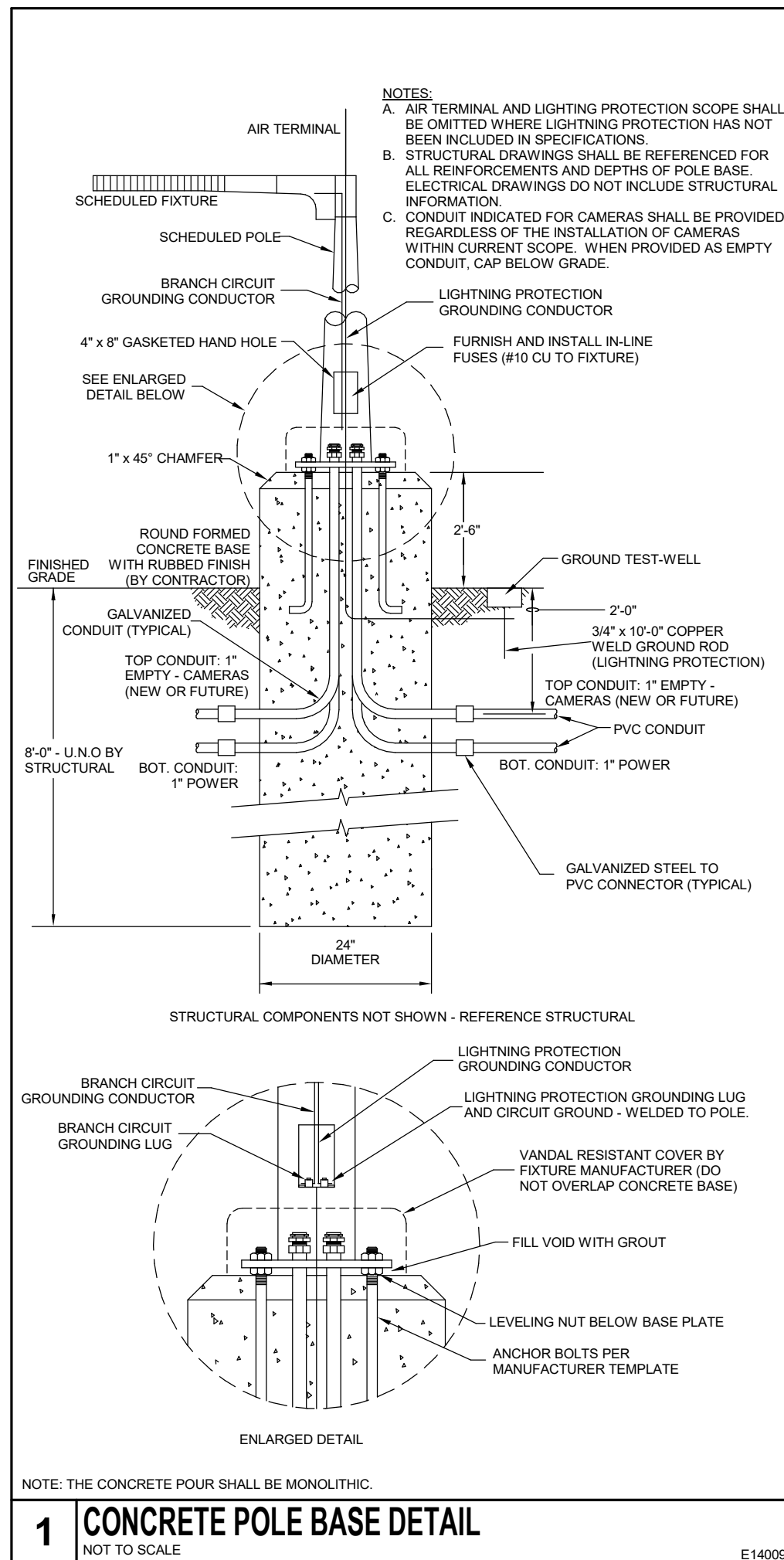
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
LANDSCAPE DETAILS



PROJECT NO.
096523009

SHEET
C5.9

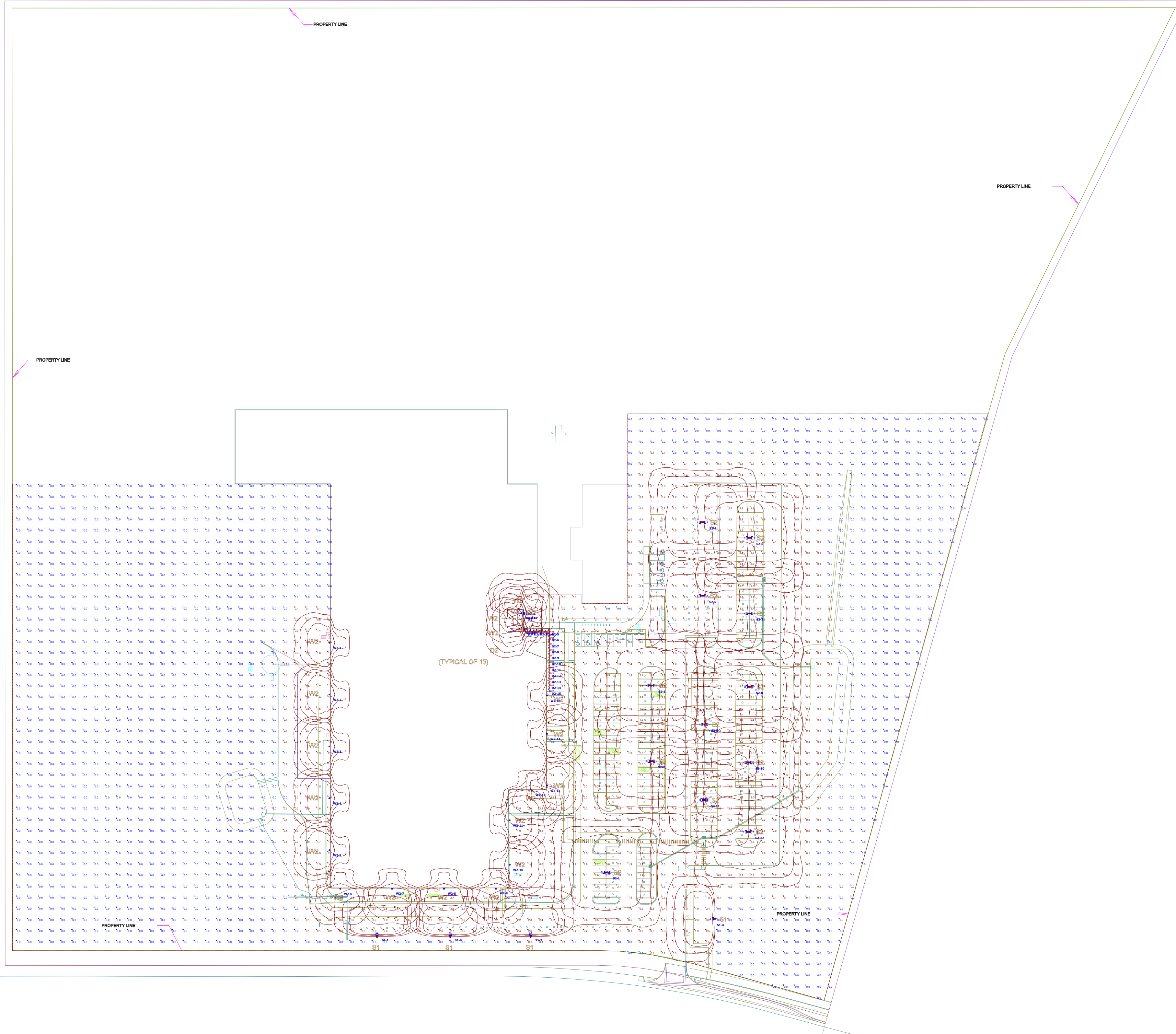
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND UNAUTHORIZED RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
S1			4	NLS Lighting	NV-1 T3 48L 740K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 3 WITH HOUSE SIDE SHIELD	1	6968	1	104.3	
S2			12	NLS Lighting	NV-1 T5 48L 740K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 5	1	12480	1	208.6	
W2			19	Lithonia Lighting	W062 LED P4 40K 70CRI 1FTM	W062 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	4742	1	46.6589	
D2			15	Lithonia Lighting	LDN4 40/20 LO4AR LSS	4IN LDN, 4000K, 2000LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	1	2008	1	22.32	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.04 fc	26.2 fc	0.0 fc	N/A	N/A

- Note**
1. ALL CALCULATION POINTS SET AT GRADE LEVEL, 0'.
 2. ALL SITE LIGHTING POLES SET AT 18'6" OVERALL.
 3. ALL WALL PACKS ARE MOUNTED AT 15'.
 4. ALL DOWN LIGHTING IS MOUNTED AT 12', RECESSED.
 5. ALL SITE AND BUILDING-MOUNTED LIGHT FIXTURES ARE FULL CUT-OFF.
 6. ALL LIGHT FIXTURES INSTALLED IN CANOPIES ARE RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND HAVE FLAT LENSES.



DBR
 9990 Richmond Avenue
 South Building, Suite 300
 Houston, Texas 77042
 713.914.0886 p 713.914.0886 f
 TBPE Firm Registration No. 2234

DBR Project Number 230277.000

EK LG DT GH -

ISSUE FOR PERMIT	DT	TR
10/22/2024		

Kimley»Horn
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6400 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: ---

LEGAL DESCRIPTION:
 TRACT A, AIRISCO
 BUSINESS PARK UNIT 1
 CONTAINING 39.775 ACRES

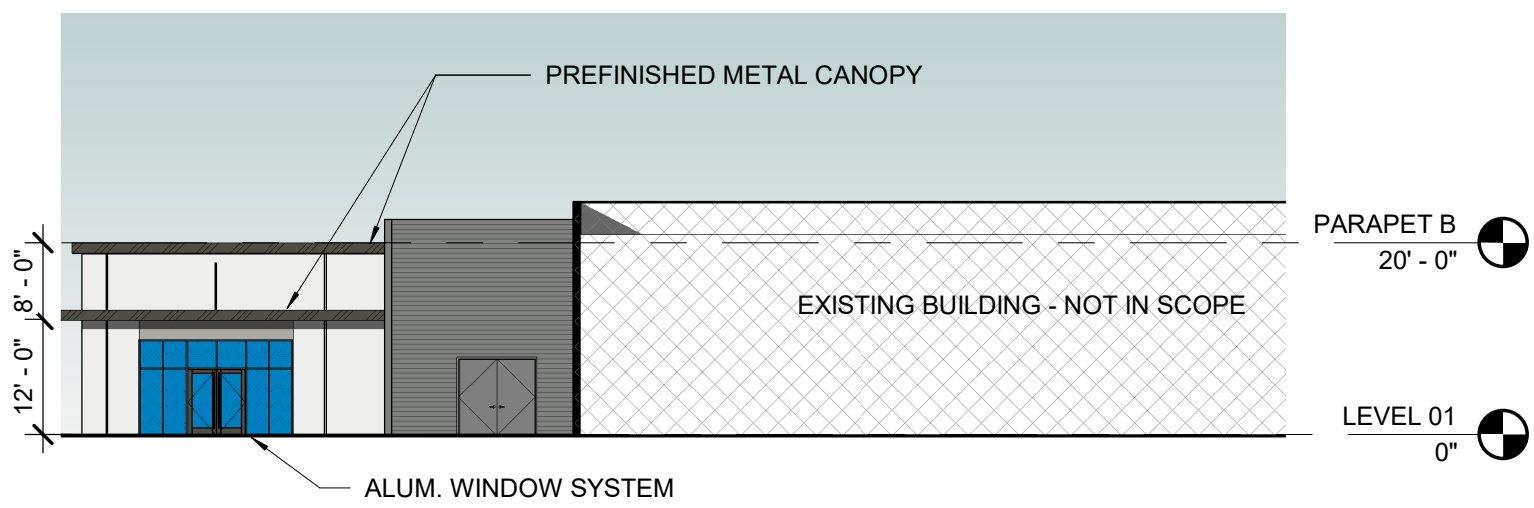
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 SITE PLAN

SHEET TITLE:
 SITE
 PHOTOMETRICS

PROJECT NUMBER
 234047

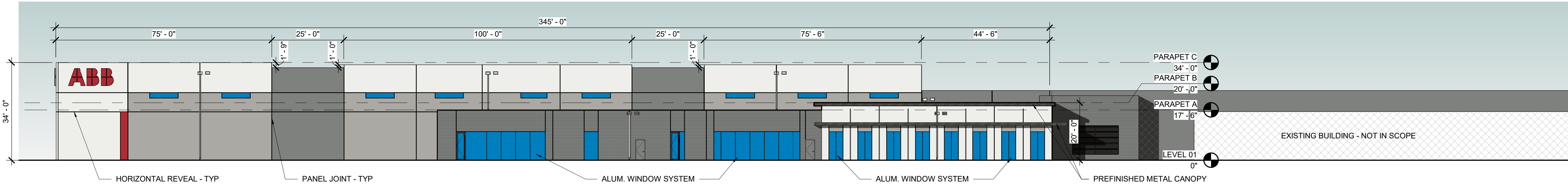
SHEET NUMBER:
EPH1.01

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF ANY PORTION OF THIS DOCUMENT WITHOUT AUTHORIZATION AND ASSOCIATION IS STRICTLY PROHIBITED. ANY REUSE OF THIS DOCUMENT WITHOUT AUTHORIZATION AND ASSOCIATION SHALL BE WITHOUT LIABILITY TO THE ARCHITECT AND ASSOCIATES, INC.



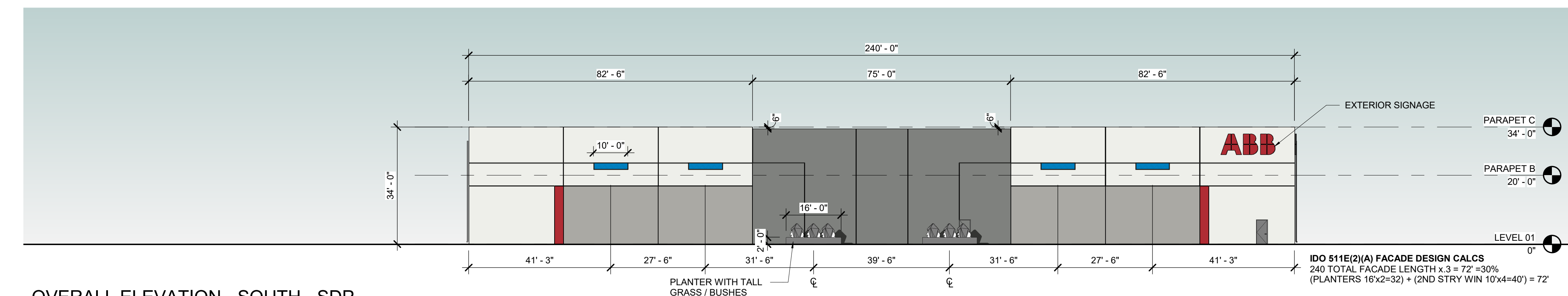
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



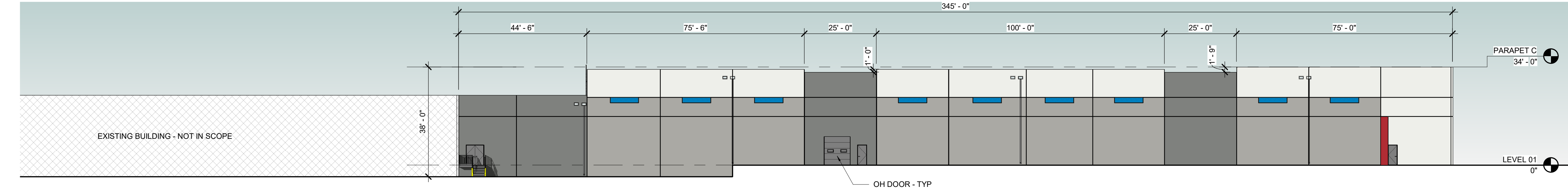
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

SCALE: 1" = 20'-0"



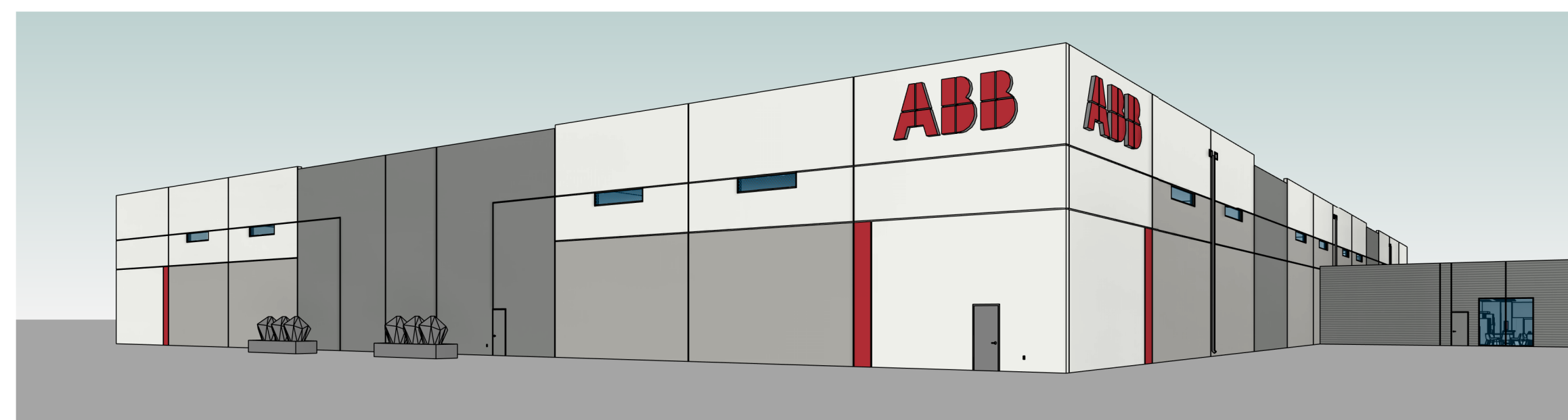
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



3D VIEW @ NE CORNER

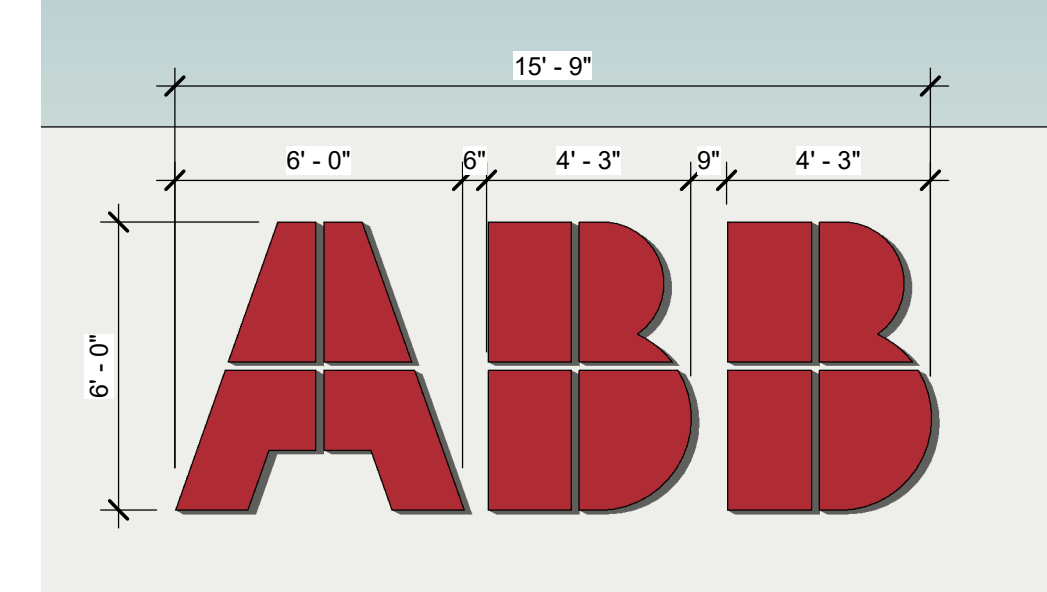
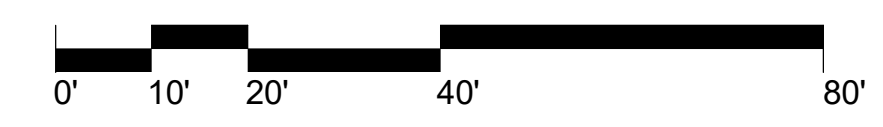
SCALE:



3D VIEW @ SE CORNER

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



SIGN NOTES:
 SIGN AREA: 66 SF
 TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
 MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"

NO.	REVISION	BY	DATE	APPR.

2150 W 29th Ave,
 Suite 400
 Denver, Colorado 80211
 303.225.3345
 www.powersbrown.com

powers brown architecture

DESIGNED BY: MF
 DRAWN BY: MF
 CHECKED BY: KS
 DATE: 01/05/2023

LEGAL DESCRIPTION:
 TRACT A, ATRISCO
 BUSINESS PARK, UNIT 1
 CONTAINING 39.775 ACRES

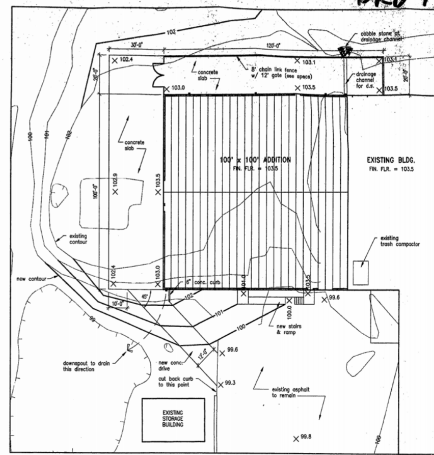
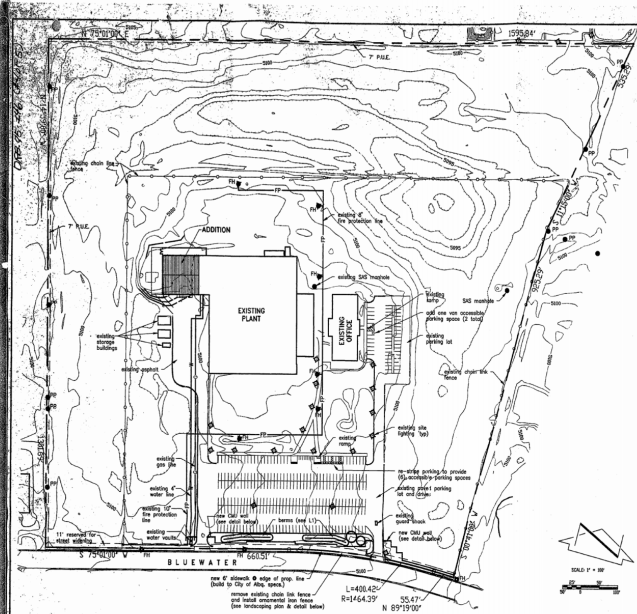
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 BUILDING ELEVATIONS

STATE OF NEW MEXICO
 JEFFREY L. BROWN
 NO. 604131
 REGISTERED ARCHITECT
 9 SEPT 2024
 PROJECT NO. 096523009

SHEET
A1.0

GOVERNING SITE PLAN SET

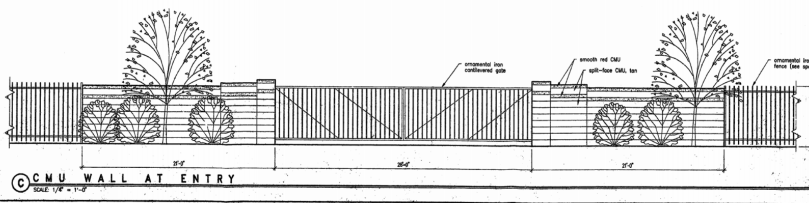
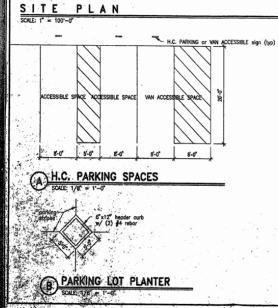
DRB-95-146



LEGAL DESCRIPTION
TRACT A, KRIBOS BUSINESS PARK, UNIT 1

PARKING REQUIREMENTS

Existing Office	1,000 sq. ft.	200
Office Manufacturing	10,000 sq. ft.	20
Low Manufacturing	10,000 sq. ft.	10
Required Total Parking Spaces		230
Required Accessible Spaces (1% to be van spaces)		23
Provided Total Parking Spaces		230
Provided Accessible Spaces (1% to be van spaces)		23



ALEXANDER HARRISON ARCHITECT
8000 Montebello Road NE, Albuquerque, NM 87122-2042
All rights reserved. Copyright © 1995 by Alexander Harrison

BLASTIMOLD
Albuquerque, New Mexico

BLASTIMOLD
Albuquerque, New Mexico

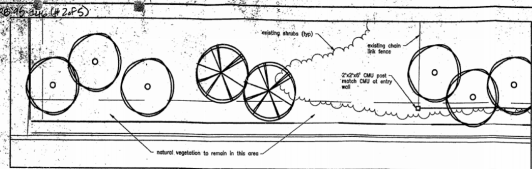
CITY OF ALBUQUERQUE
THIS REPRODUCTION IS THE BEST
POSSIBLE REPRODUCTION OF THE
ORIGINAL DOCUMENT.

CITY OF ALBUQUERQUE
THIS REPRODUCTION IS THE BEST
POSSIBLE REPRODUCTION OF THE
ORIGINAL DOCUMENT.

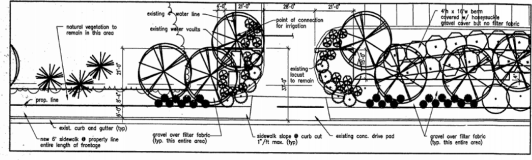
Richard J. ...
BLASTIMOLD

...
BLASTIMOLD

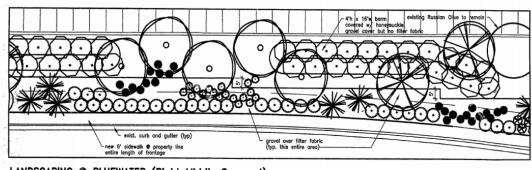
CITY OF ALBUQUERQUE



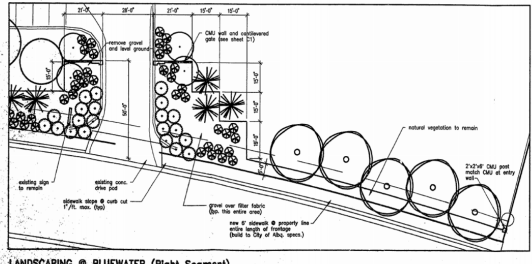
LANDSCAPING @ BLUEWATER (Left Segment)
SCALE: 1" = 20'-0"



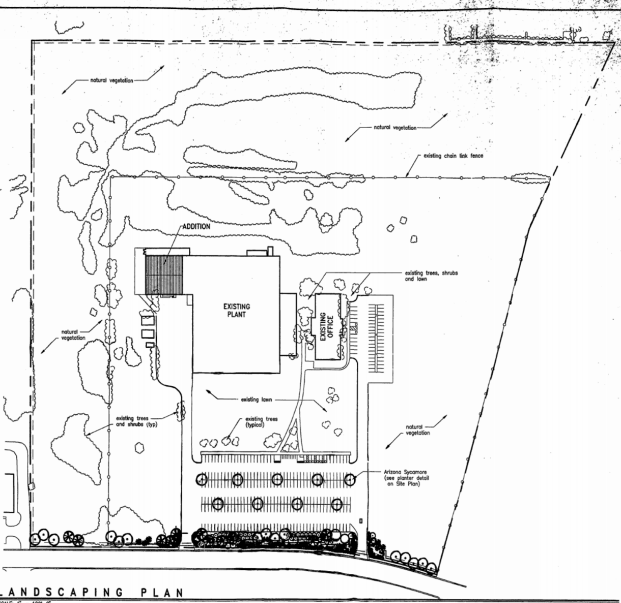
LANDSCAPING @ BLUEWATER (Left Middle Segment)
SCALE: 1" = 20'-0"



LANDSCAPING @ BLUEWATER (Right Middle Segment)
SCALE: 1" = 20'-0"



LANDSCAPING @ BLUEWATER (Right Segment)
SCALE: 1" = 20'-0"



LANDSCAPING PLAN
SCALE: 1" = 100'-0"

Symbol	Symbol	Minimum Size		Quantity (Number & Note)
		Height	Spread	
A	ARIZONA SAGUARO (Palm Springs)	40'-80'	30'-40'	(3) 2 gal. (1) 2 gal.
B	PLUM YUCCA (Yucca)	50'	30'-40'	(3) 2 gal. (1) 2 gal.
C	LAUREL PINE (Pine)	20'	15'	(1) 2 gal. (1) 2 gal.
D	BUDBURN ALM (Almond)	20'	15'	(1) 2 gal. (1) 2 gal.
E	SCOTCH WILLOW (Willow)	20'	15'	(1) 2 gal. (1) 2 gal.
F	COYOTE (Chrysothamnus)	5'	5'	(1) 1/2 gal. (1) 1/2 gal.
G	FRUIT-LEAF YUCCA (Yucca)	4'	4'	(1) 1 gal. (1) 1 gal.
H	RED BUDWOOD (Buddleia)	3'	4'	(1) 1 gal. (1) 1 gal.
I	CHAMPAGNE CANNON (Canna)	7'	10'	(1) 1 gal. (1) 1 gal.
J	SMALL YONKERSVILLE (Yucca)	8'	12'	(1) 1 gal. (1) 1 gal.

MINIMUM PLANT SIZES: TREES - 2" caliper or 10"-12"; SHRUBS AND VINES - 6 gal.
 DIMENSIONS: 3/4" rounded down, 1/2" down, 5/8" down, 1/4" down, 1/2" down, 1/4" down.
 PLANTING SYSTEM: Landscape Contractor shall submit a 40% irrigation plan for approval by architect. Irrigation system shall be electrically driven. Provide necessary connections to existing water and electric.
 All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractor's expense.

ALEXANDER HARRISON ARCHITECT
 800 Main Street, Albuquerque, NM 87102-2002



DATE: March 27, 1995
 PROJECT: ELASTIMOLD, NEW

ELASTIMOLD
 Albuquerque, New Mexico

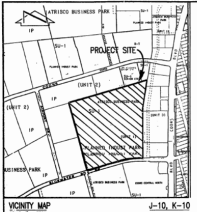
LANDSCAPING PLAN
 DATE: 3/27/95

CITY OF ALBUQUERQUE
 THIS MICROSCOPE IS THE BEST POSSIBLE REPRODUCTION OF THE ORIGINAL DOCUMENT.

THIS MICROSCOPE IS CERTIFIED TO BE A COMPLETE AND ACCURATE COPY OF THE ORIGINAL AS IT APPEARS IN THE FILE OF THE PLANNING DEPARTMENT AND WAS CREATED IN THE NORMAL COURSE OF BUSINESS.
 The photographic process used meets the basic minimum standards of the National Microphotography Association (M115-1977).



CITY OF ALBUQUERQUE



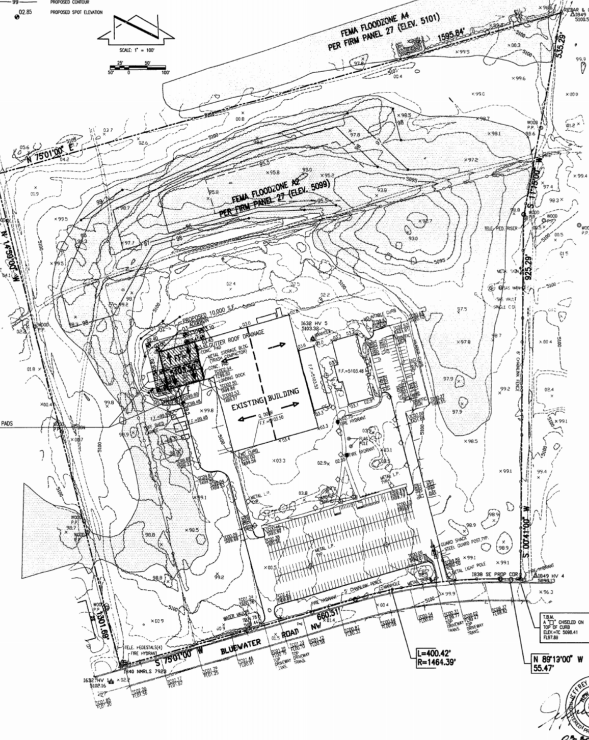
298-95-146 (#345)

NOTE:
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. DATA SHOWN IS BASED UPON THE ALTA/ACLS LAND TITLE SURVEY OF TRACT A, ALTA/ACLS RECORDS BOOK 1417, 1, PREPARED BY CHRISTOPHER J. DEJELER, ON NOV. 20, 1988.

PROJECT BENCHMARK
A 1.5" x 1.5" x 1.5" aluminum benchmark is set in the top of the concrete foundation of the existing building. The benchmark is set in the top of the concrete foundation of the existing building. The benchmark is set in the top of the concrete foundation of the existing building.

LEGAL DESCRIPTION
TRACT A, ALTA/ACLS RECORDS BOOK 1417, 1, 1/4 SECTION 16, T12N, R14E, S1E, ALBUQUERQUE, NEW MEXICO.

- Construction Notes:**
- The contractor shall ensure that no "as built" drawings are used for construction.
 - The contractor shall promptly close up any exposed excavation within the public right-of-way in full accordance with the applicable regulations of the City of Albuquerque. This will be completed immediately by the contractor. This will be completed immediately by the contractor.
 - The contractor shall secure "typical" construction permit prior to beginning construction.
 - Any areas of erosion (traffic, erosion, drainage and associated impacts) shall be minimized and controlled by the contractor. This will be completed immediately by the contractor. This will be completed immediately by the contractor.



DRAINAGE PLAN

The following items concerning the Drainage Design Plan are contained herein:

1. Vicinity Map
2. Foundation Map
3. Grading Plan

As shown by the Vicinity Map, the site is located on the north side of Bluewater Road NW within the Alameda Business Park. At present, the site is developed commercially.

As shown by the Foundation Map, the site is located on the north side of Bluewater Road NW within the Alameda Business Park. At present, the site is developed commercially.

The Grading Plan shows: 1) existing and proposed grades indicated by spot elevations and contours at 1' intervals; 2) the final and character of the existing improvements; 3) the final and character of the proposed improvements; 4) existing and proposed structures; 5) existing and proposed parking areas; 6) existing and proposed utility lines; 7) existing and proposed drainage lines; 8) existing and proposed drainage structures; 9) existing and proposed drainage easements; 10) existing and proposed drainage easements.

The Calculations section contains the following information:

Site Characteristics

1. Proposed Area = 1
 $A_{100} = 1.343 \times 10^6 \text{ sq ft}$
 $A_{100} = 1.343 \times 10^6 \text{ sq ft}$

Existing Land Treatment

1. Volume
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$

Drainage Condition

1. Volume
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$

2. Peak Discharge
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$

Volume

1. Volume
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$

2. Peak Discharge
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$

Volume

1. Volume
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$

2. Peak Discharge
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$

Volume

1. Volume
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$
 $V_{100} = 1.343 \times 10^6 \text{ cu ft}$

2. Peak Discharge
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$
 $Q_{100} = 1.343 \times 10^6 \text{ cfs}$

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.

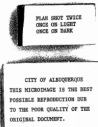
- Construction Notes:**
1. See (2) working drawings for details of construction.
 2. Prior to construction, the contractor shall obtain a permit from the City of Albuquerque for the proposed construction.
 3. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.
 4. The contractor shall ensure that all construction is in accordance with the applicable regulations of the City of Albuquerque.



**GRADING AND DRAINAGE PLAN
ELASTIMOLD**

REVISED BY	DATE	NO.	DATE	BY	REVISION
J.E.M.	03-19-95	1			

950202
03-19-95

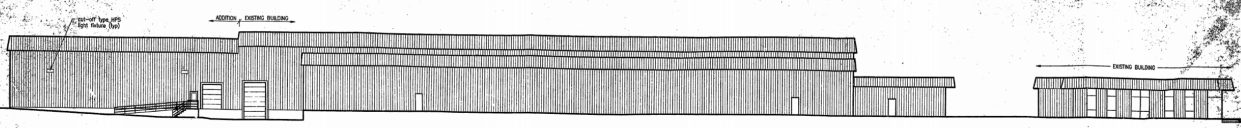


CITY OF ALBUQUERQUE
THE PHOTOGRAPHY IS THE BEST AVAILABLE REPRESENTATION OF THE TRUE QUALITY OF THE ORIGINAL DOCUMENT.

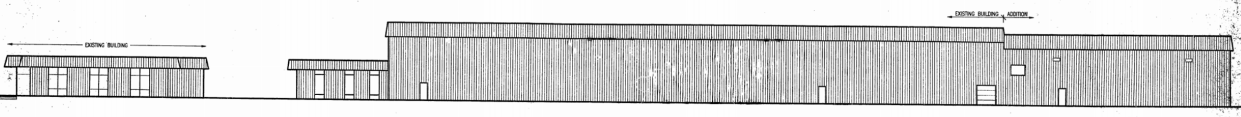


CITY OF ALBUQUERQUE

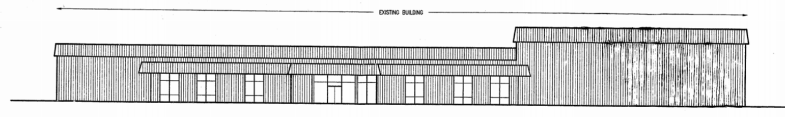
500-851-2446
(89246)



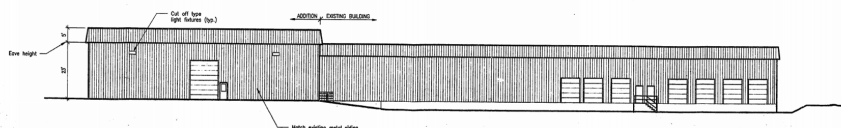
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

ALEXANDER HARRISON ARCHITECT
1800 Mountain Road, N.E., Albuquerque, New Mexico 87102

ALL RIGHTS RESERVED. COPIES BY THE CITY OF ALBUQUERQUE

DATE: 1988
PROJECT: ALABAMA-AL-CENT
SCALE: 1/4" = 1'-0"

DATE: MARCH 28, 1988
PROJECT:

ELASTIMOLD
Albuquerque, New Mexico

EXHIBIT ALABAMA-AL-CENT

CITY OF ALBUQUERQUE
THIS MICROFORM IS THE BEST
POSSIBLE REPRODUCTION OF
THE ORIGINAL AND IS
TO THE BEST OF THE
REPRODUCER'S KNOWLEDGE.

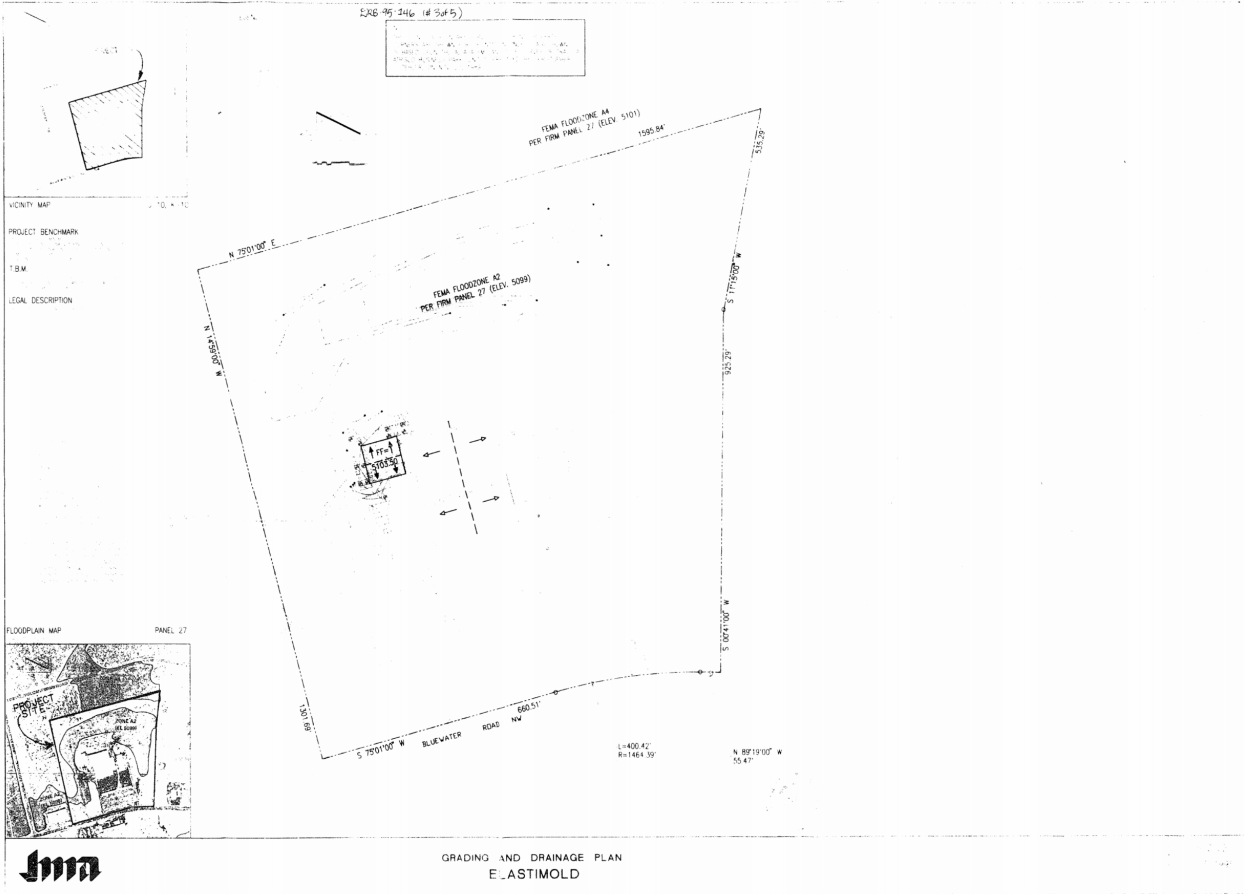
ALB 88-000000-0011
CITY OF ALBUQUERQUE
This microform is certified
to be a complete and accurate
copy of the original as it
appears in the files of the
Planning Department
and was created in the normal
course of business.
The photographic process used
meets the basic scientific
standards of the National
Micrographic Association
(ANSI-Z39.18-1977)
Richard J. ...
DIRECTOR

Richard J. ...
DIRECTOR

D
20
B
A

CITY OF ALBUQUERQUE

C

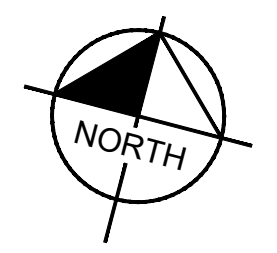
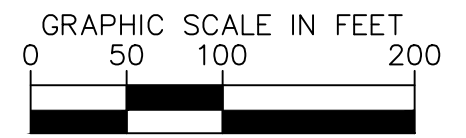


THIS PLAN IS THE PROPERTY OF THE CITY OF ALBUQUERQUE AND IS LOANED TO YOU FOR YOUR INFORMATION ONLY. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE CITY ENGINEERING DEPARTMENT. THE CITY ENGINEERING DEPARTMENT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CITY ENGINEERING DEPARTMENT IS NOT RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN.

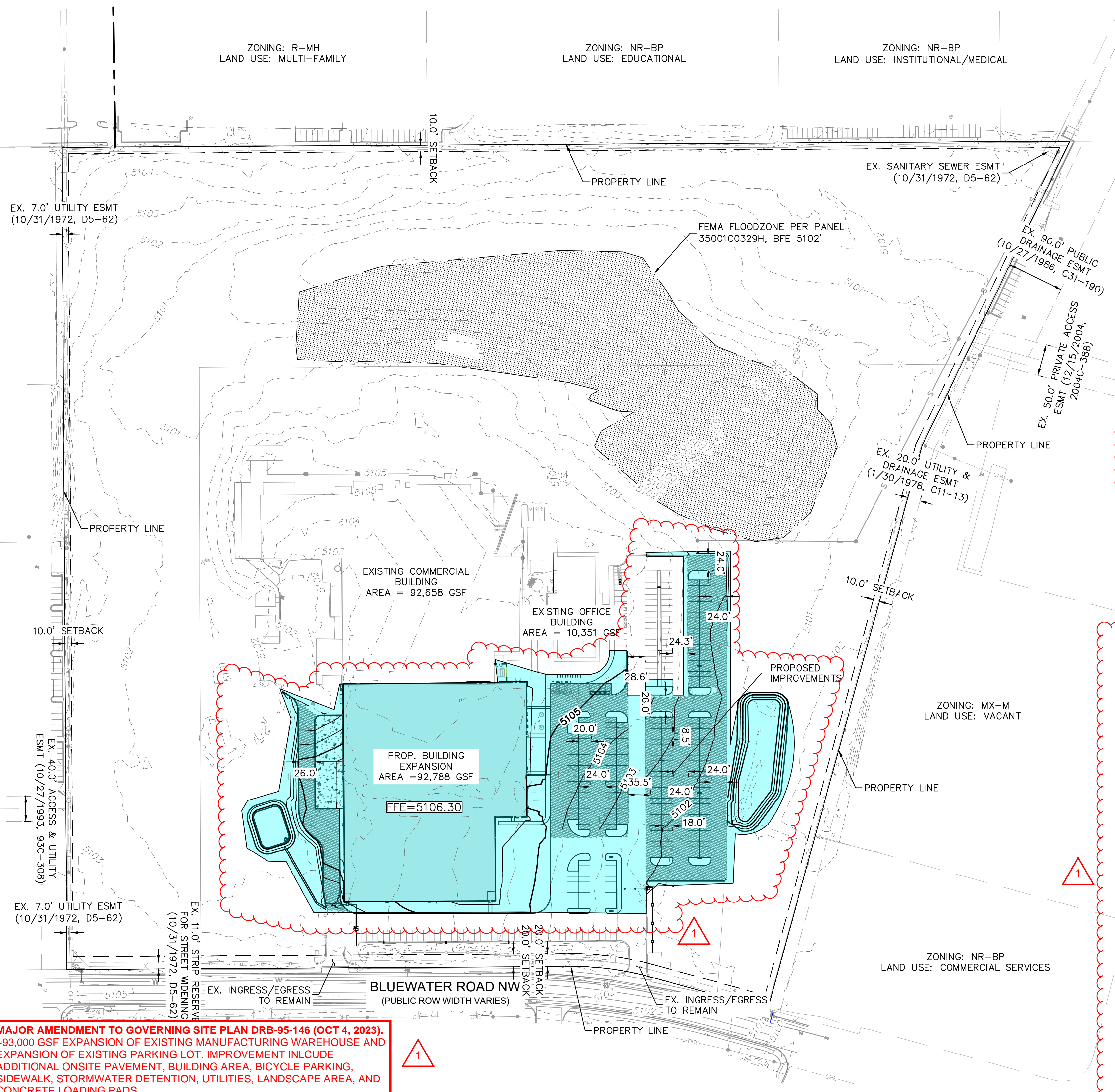
D 2 C 20 b 10 12 CITY OF ALBUQUERQUE C D

EPC MAJOR AMENDMENT APPROVED SITE PLAN
(PR-2023-009209)

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

LAND AREA:
 • 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±92,800 SF
 • TOTAL = ±195,800 SF

DESIGN GUIDELINES:
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), EFFECTIVE 7/17/2023.

SET BACKS (IDO TABLE 2-5-3):
 • FRONT: 20 FEET
 • SIDE: 10 FEET
 • REAR: 10 FEET

BUILDING HEIGHT (IDO TABLE 2-5-3):
 • ALLOWABLE MAX: 65 FEET
 • EXISTING MAX HEIGHT: 28 FEET
 • PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
OWNER: AMERACE CORPORATION

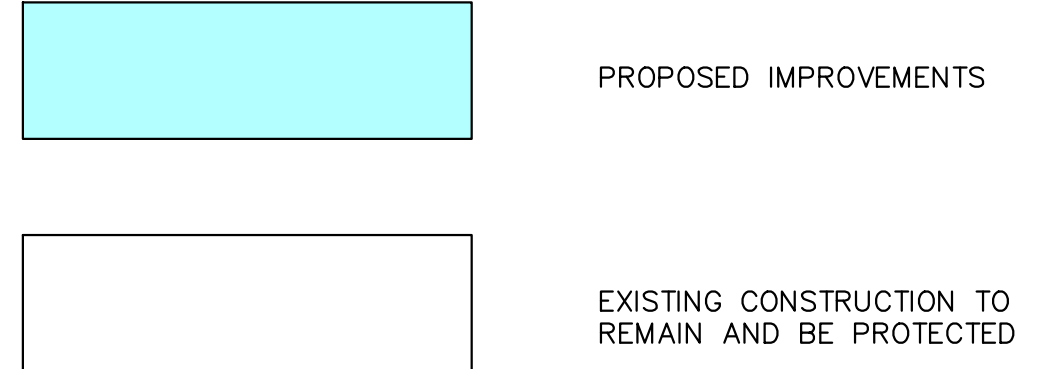
PROJECT DESCRIPTION:
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

SITE IMPROVEMENTS:
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

BUILDING USE =	LIGHT MANUFACTURING
PARKING REQUIREMENTS =	1 SPACES / 1,000 SF GFA
REQUIRED PARKING SPACES =	193
REQUIRED ADA PARKING =	5
REQUIRED BICYCLE PARKING =	20
REQUIRED LOADING SPACES =	2
EXISTING PARKING SPACES =	260
EXISTING ADA PARKING SPACES =	8
EXISTING MOTORCYCLE SPACES =	4
PROPOSED PARKING =	439
PROPOSED ADA PARKING =	9
PROPOSED BICYCLE PARKING =	20
PROPOSED MOTORCYCLE PARKING =	6
PROPOSED EV CHARGING STALLS =	4
PROPOSED LOADING SPACES =	2

LEGEND



REFER TO DETAILED SITE PLAN (SHEET 2) FOR DETAILED CALLOUTS

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023)
 -93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. IMPROVEMENT INCLUDE ADDITIONAL ONSITE PAVEMENT, BUILDING AREA, BICYCLE PARKING, SIDEWALK, STORMWATER DETENTION, UTILITIES, LANDSCAPE AREA, AND CONCRETE LOADING PADS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 03/10/2023

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

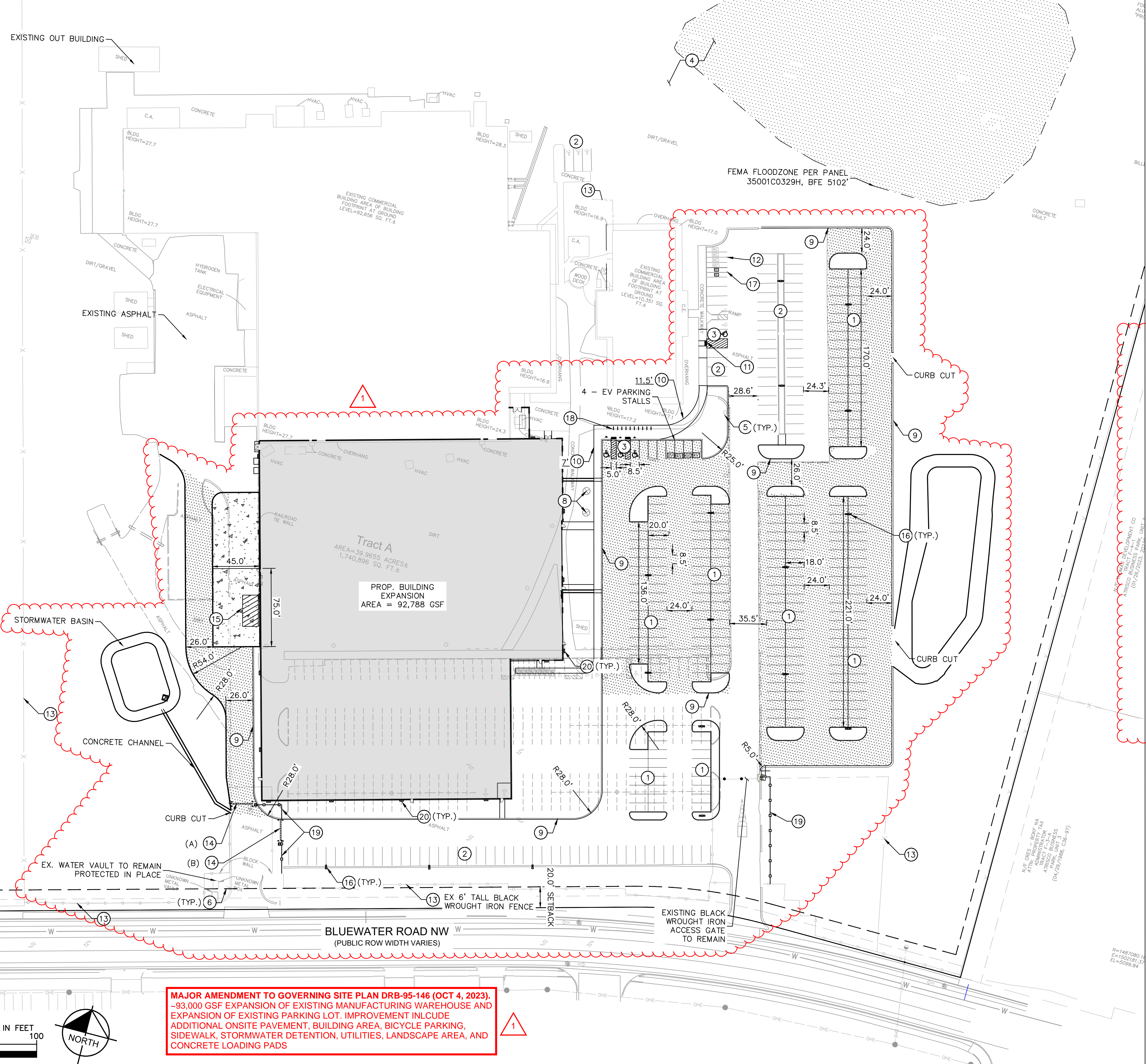
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 MAJOR AMENDMENT
 OVERALL SITE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096523009

SHEET
 1

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

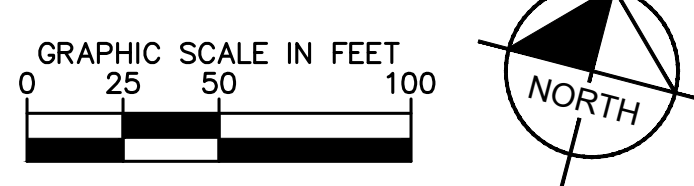


LEGEND:

—	PROPERTY LINE
- - -	ADJACENT SECTION LINE
- - - -	EX. UTILITY ESMT
- - - - -	EX. WROUGHT IRON FENCE
- - - - -	EX. CHAIN LINK FENCE
⊗	EX. FIRE HYDRANT/VALVE
⊙	EX. FLAGPOLE
⊕	EX. SITE LIGHT
⊖	EX. SIGN
—	PROP. 6" VERTICAL CURB
▭	PROP. BUILDING
- - - - -	PROP. FIRE LANE
- - - - -	PROP. PAVEMENT
- - - - -	PROP. BUILDING SETBACK
⊕	PROP. POLE MOUNTED EXTERIOR LIGHTING
⊖	PROP. BUILDING MOUNTED EXTERIOR LIGHTING

KEYNOTE LEGEND:

①	PROP. STANDARD 8.5'X18' PARKING STALLS
②	EX. STANDARD PARKING STALLS (TO REMAIN)
③	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
④	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
⑤	EX. LIGHT POLES (TO REMAIN)
⑥	EX. SIGNAGE (TO REMAIN)
⑦	EX. FIRE HYDRANTS (TO REMAIN)
⑧	EX. FLAGPOLE (TO REMAIN)
⑨	PROP. 6" VERTICAL CURB
⑩	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
⑪	PROP. ACCESSIBLE CURB RAMP
⑫	EX. MOTORCYCLE PARKING (TO REMAIN)
⑬	EX. SITE SECURITY FENCING (TO REMAIN)
⑭	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX
⑮	PROP. LOADING ZONE
⑯	NEW LIGHT POLE
⑰	PROP. MOTORCYCLE STALL (4' X 8' MIN)
⑱	NEW BICYCLE PARKING
⑲	NEW 6' BLACK WROUGHT IRON FENCE
⑳	NEW WALL MOUNTED LIGHTING



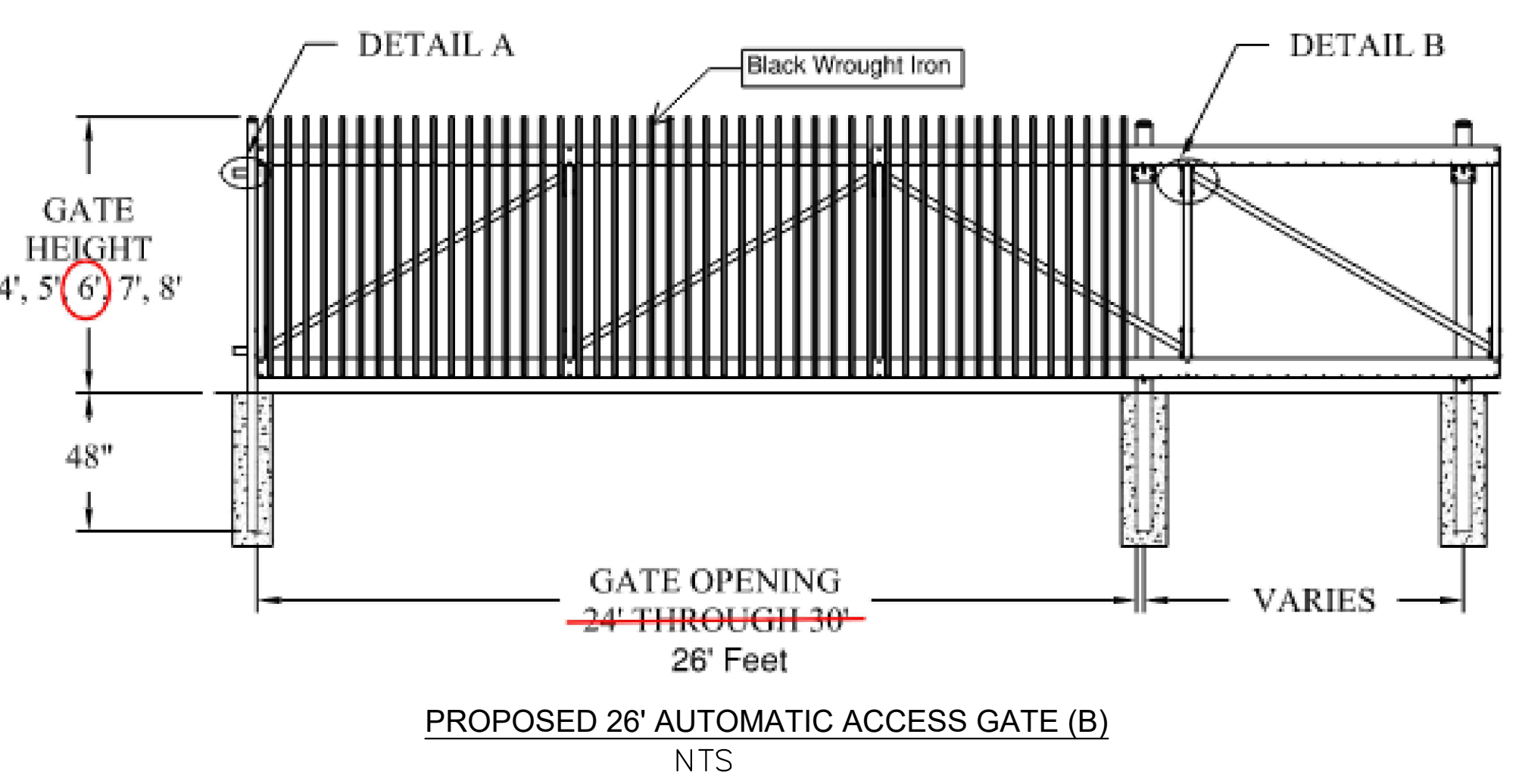
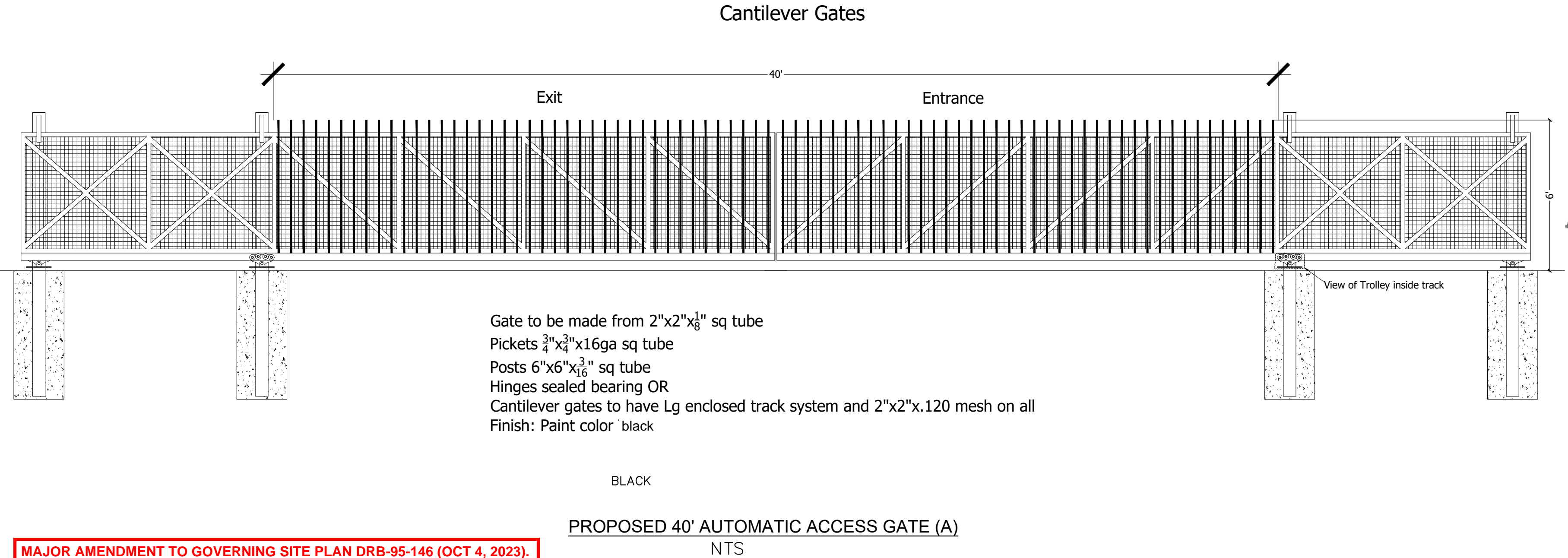
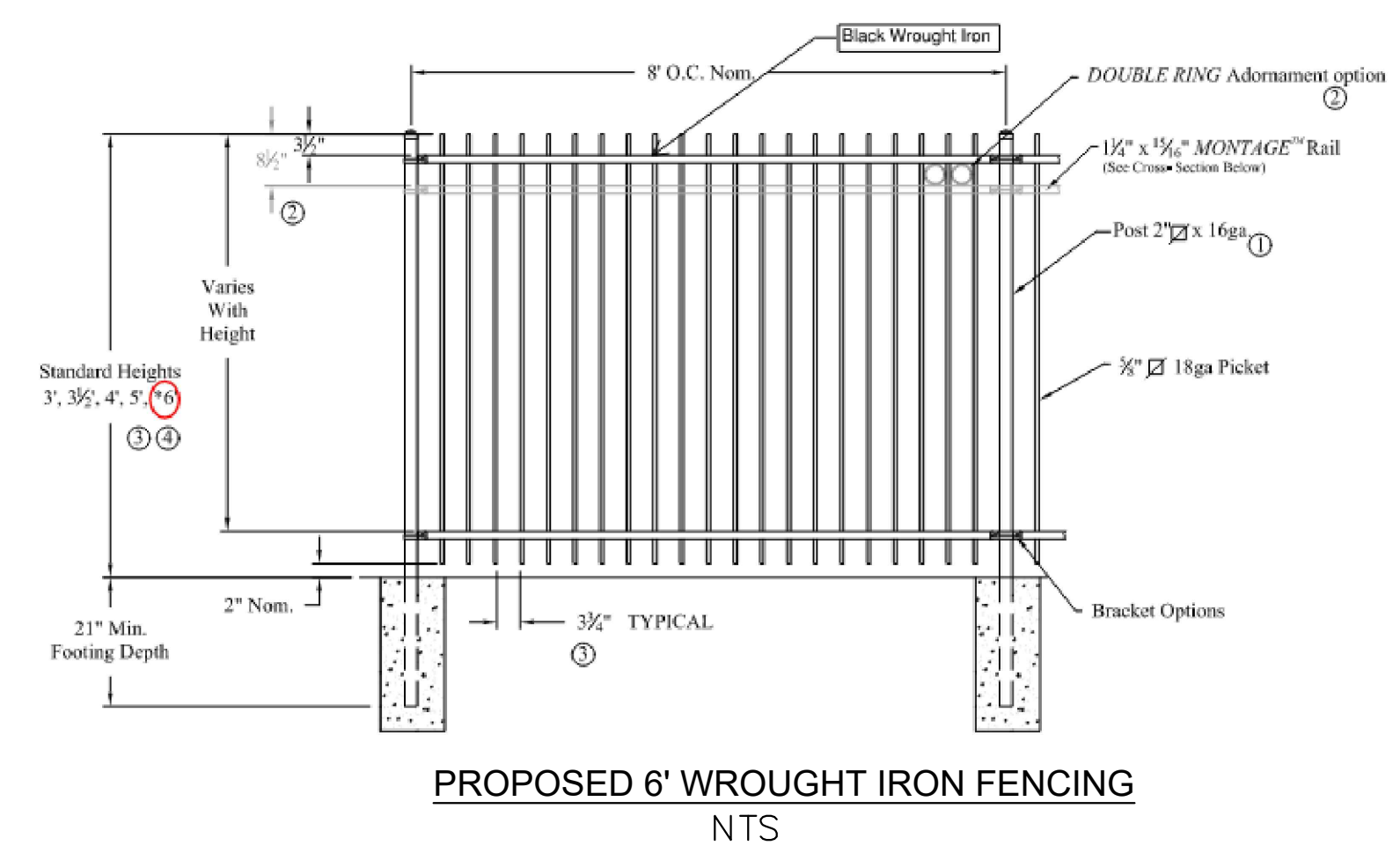
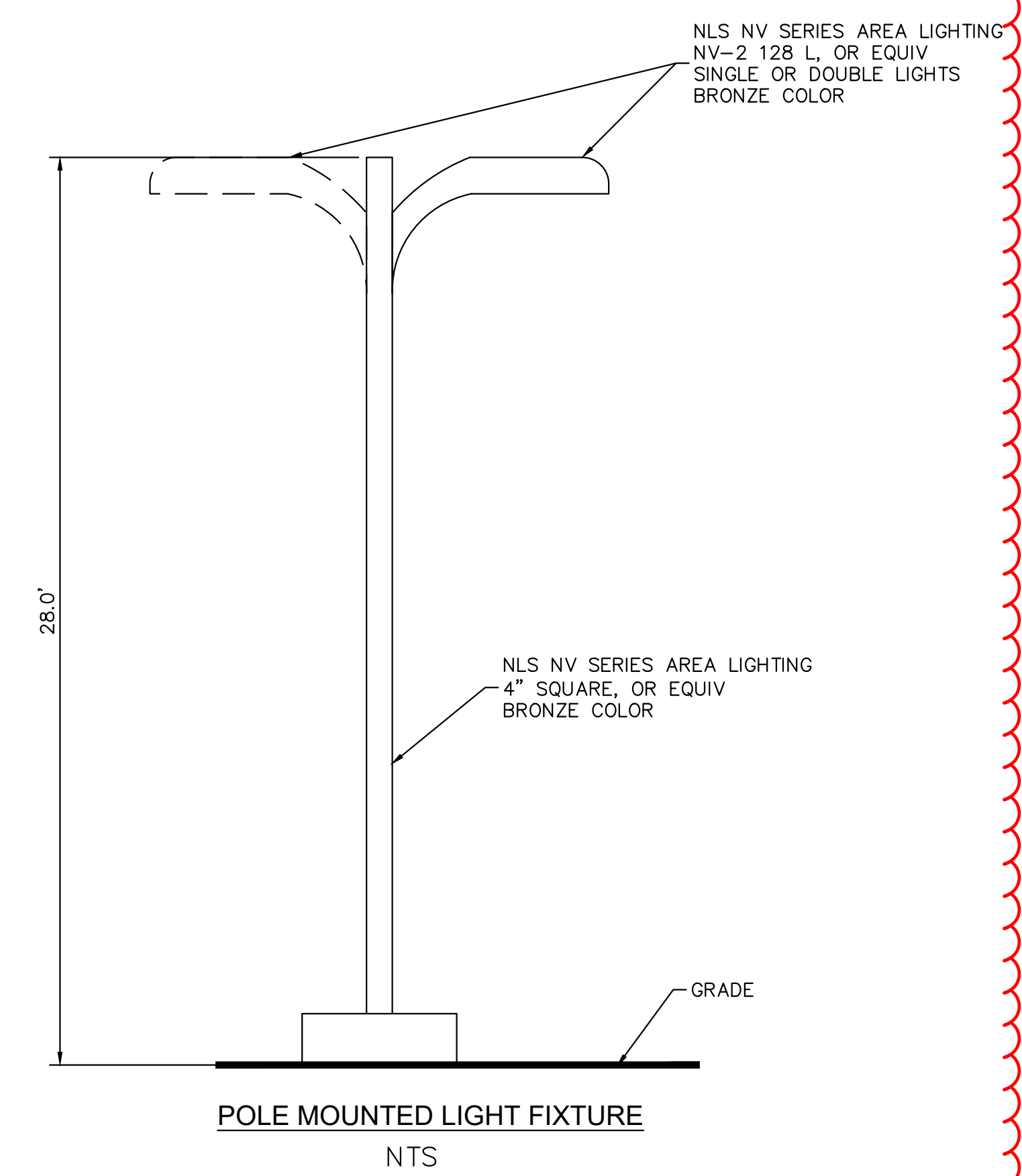
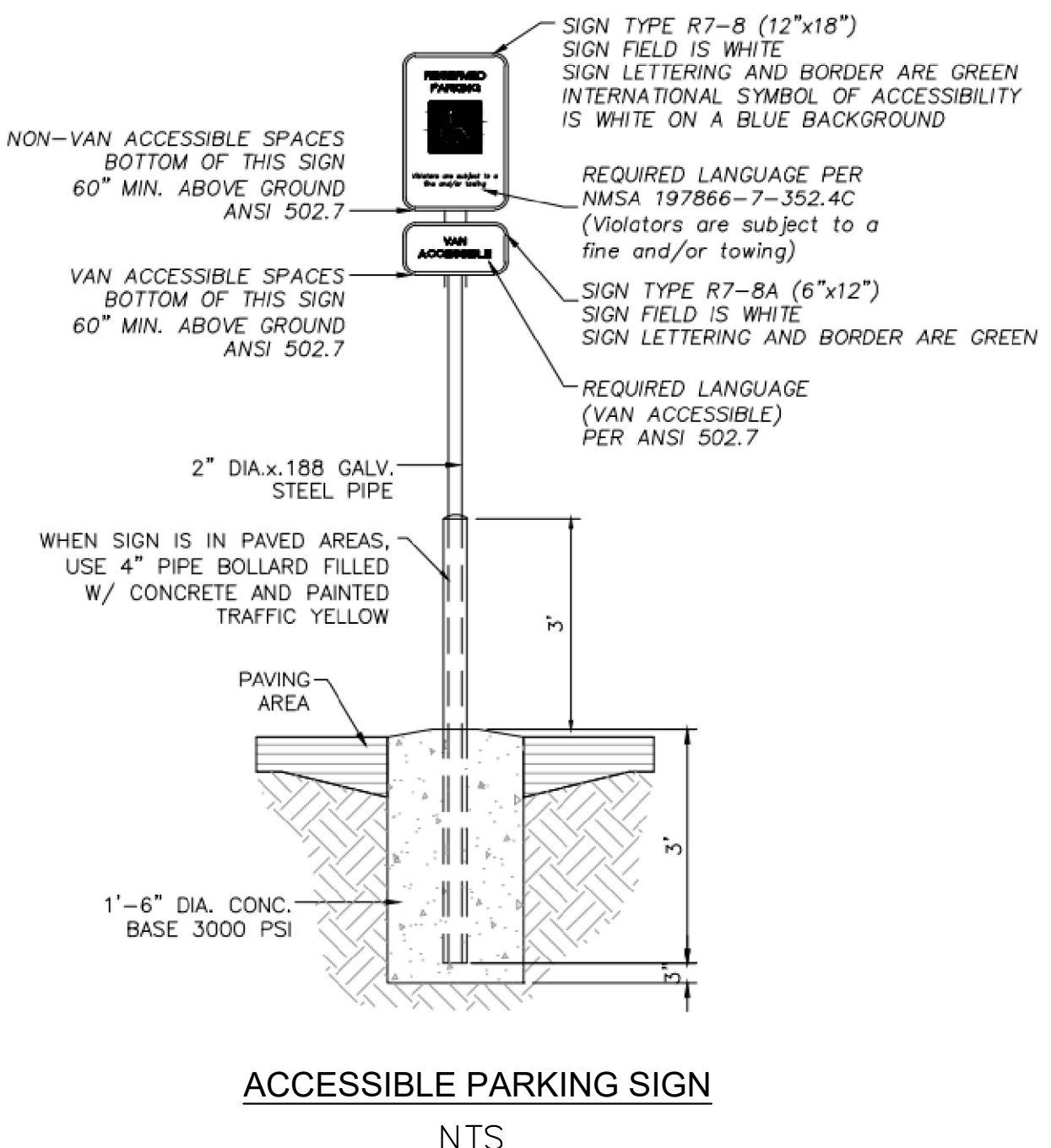
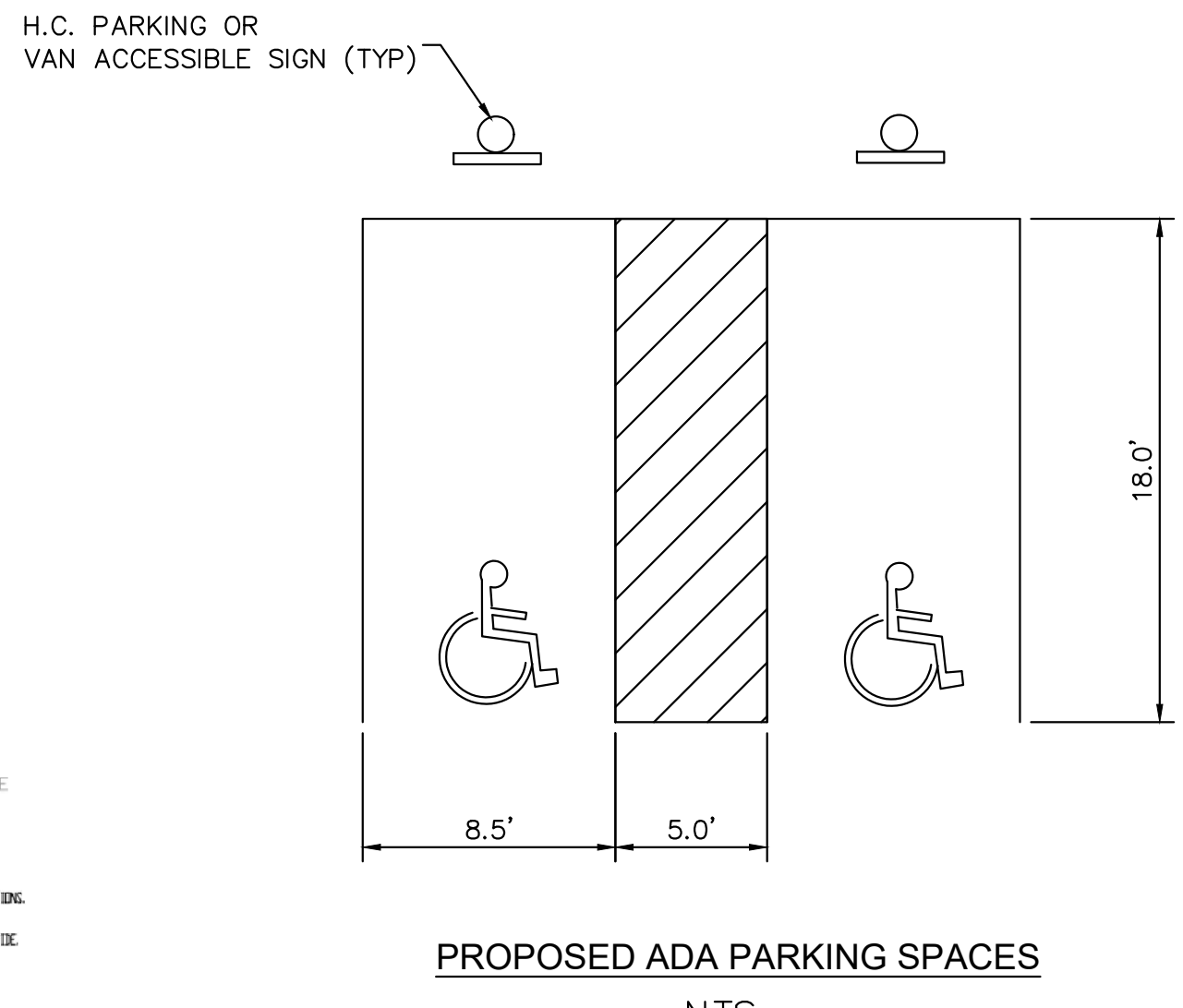
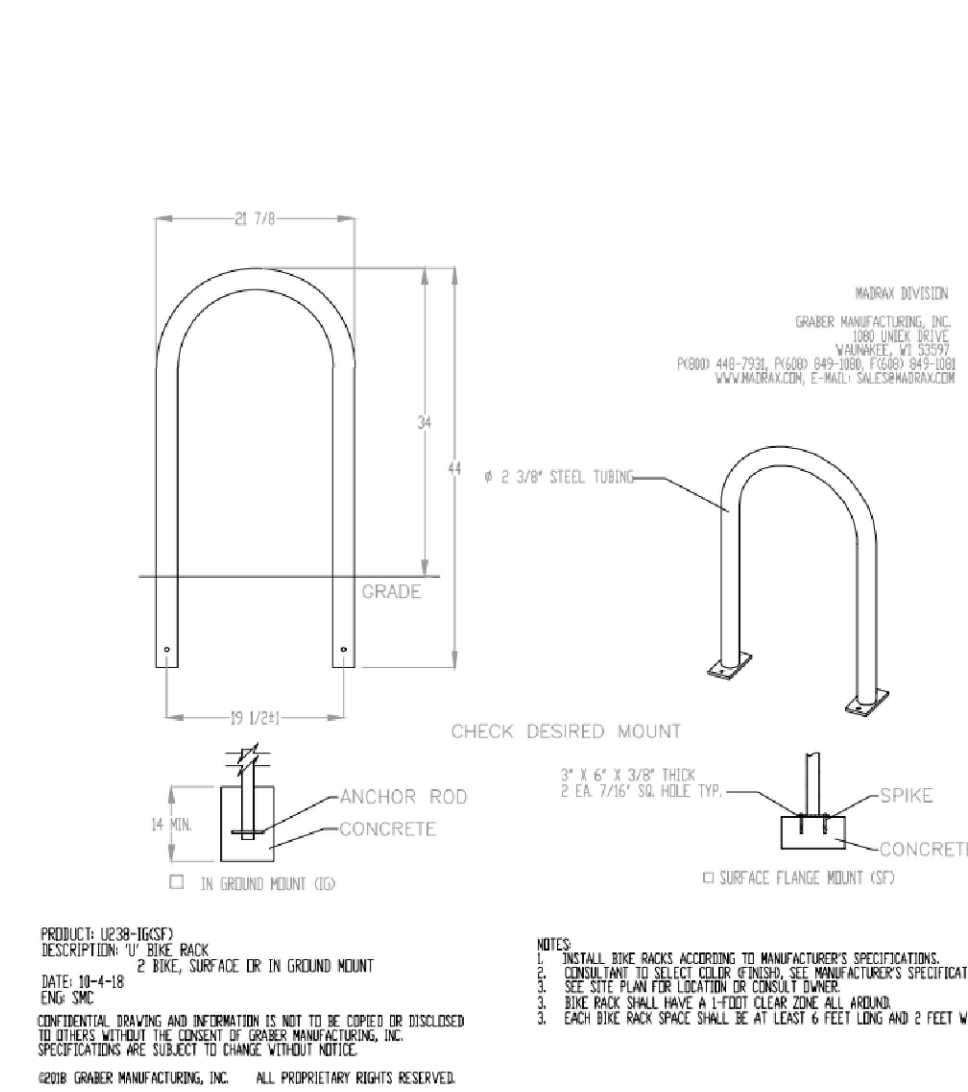
MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
 -93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. IMPROVEMENT INCLUDE ADDITIONAL ONSITE PAVEMENT, BUILDING AREA, BICYCLE PARKING, SIDEWALK, STORMWATER DETENTION, UTILITIES, LANDSCAPE AREA, AND CONCRETE LOADING PADS

VICINITY MAP -
 ZONE ATLAS PAGES: K-10-Z & J-10-Z



Kimley»Horn	©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300						
DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 03/10/2023							
LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES							
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT SITE PLAN DETAILS							
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION							
Kimley»Horn Kimley-Horn and Associates, Inc.							
PROJECT NO. 096523009 SHEET 2							

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
-93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND
EXPANSION OF EXISTING PARKING LOT. REVISED SITE DETAILS FOR
LIGHTING, FENCING, ACCESS GATES, AND SIGNS



NO.	REVISION	BY	DATE	APPR

Kimley»Horn
©2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 03/10/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

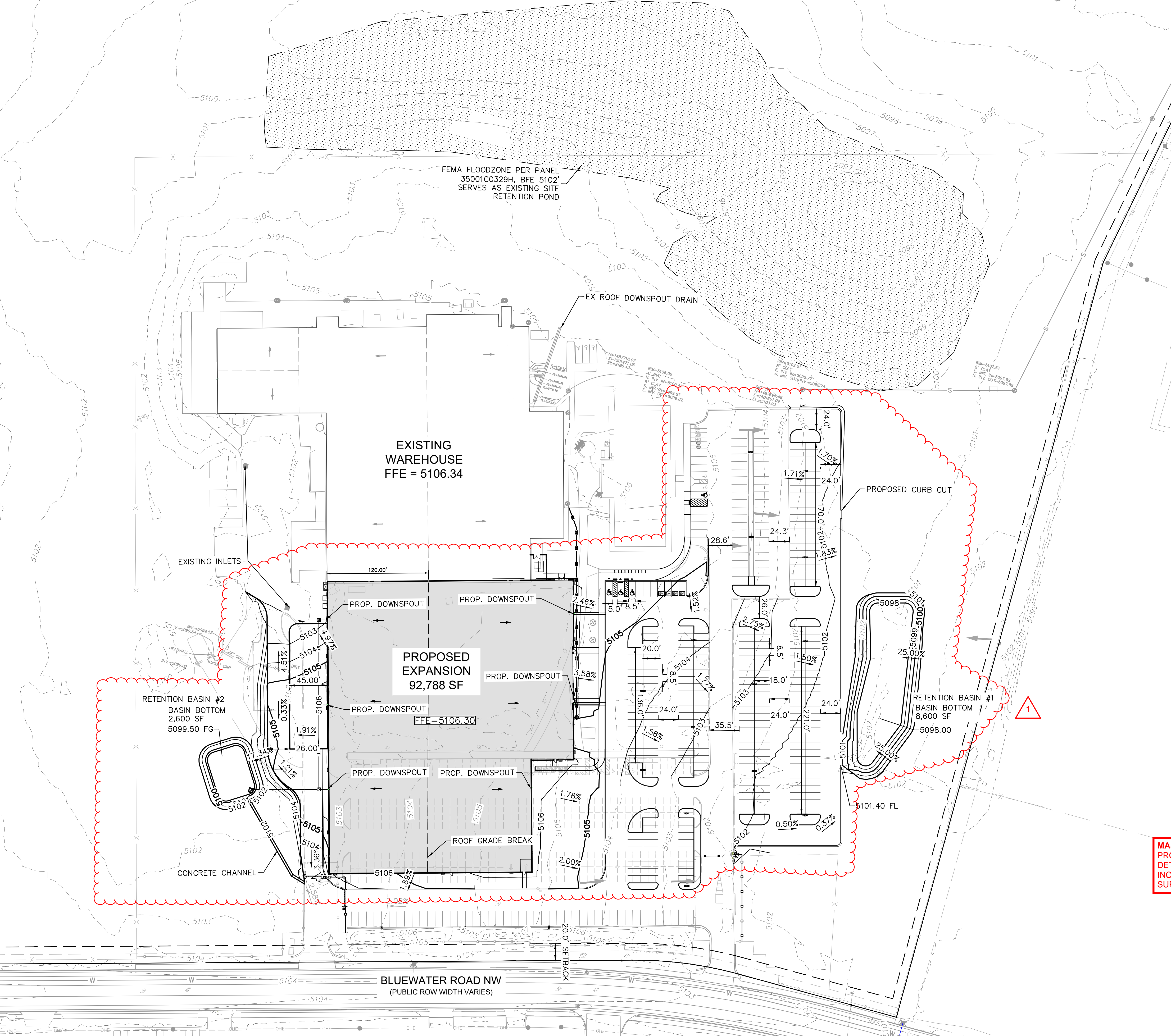
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
SITE PLAN DETAILS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET
3

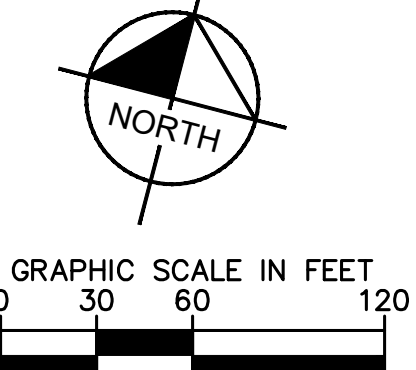
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - - - EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - - - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - ↑ EX. SIGN
 - 6" PROP. 6" VERTICAL CURB
 - ▭ PROP. BUILDING
 - ▭ PROP. PAVEMENT
 - - - PROP. FIRE LANE
 - - - PROP. CONTOUR
 - - - 5747 EX. CONTOUR
 - X.XX% PROP. SLOPE ARROW
 - - - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

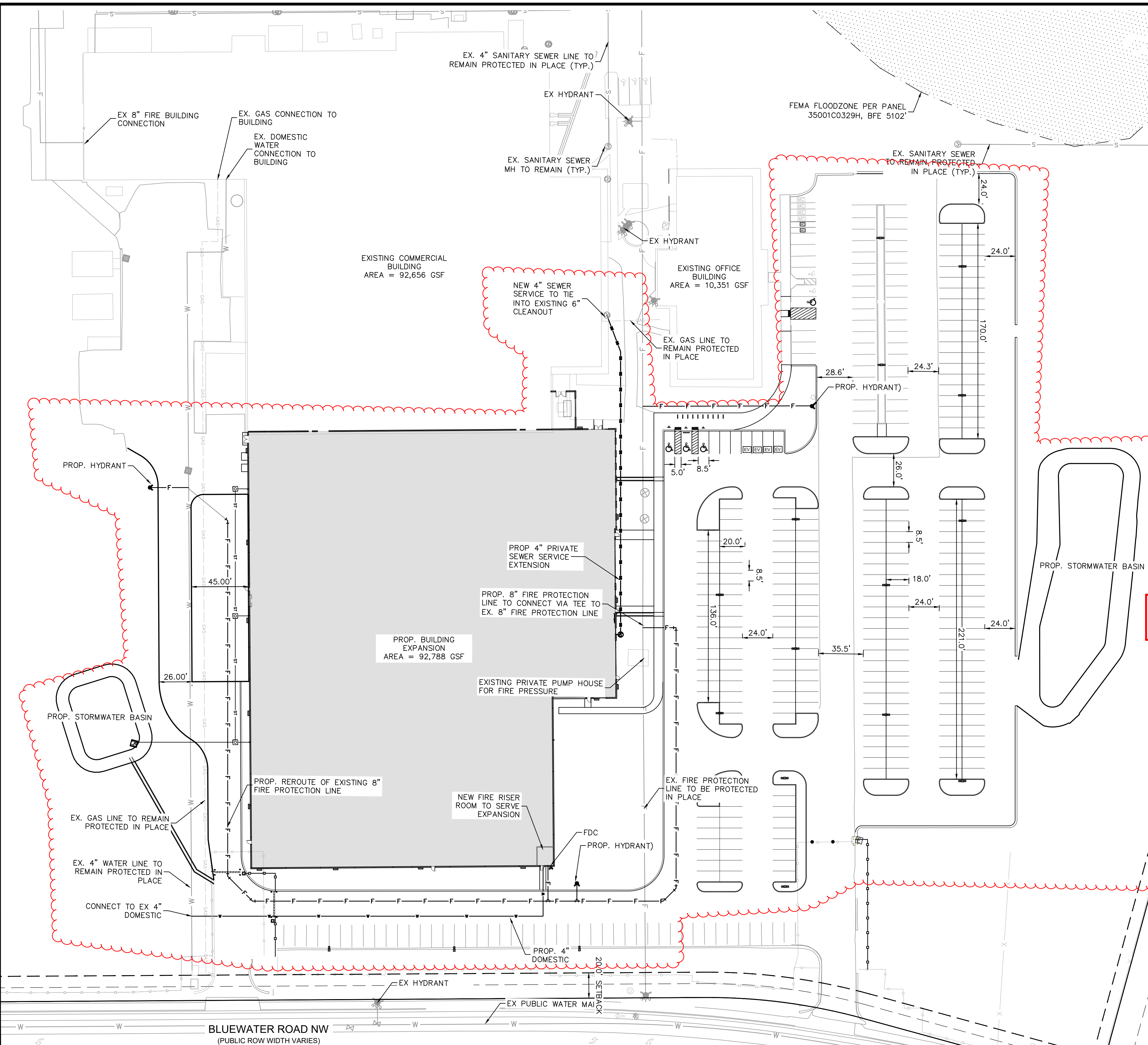
- GRADING LEGEND:**
- FL FLOWLINE =
 - BOC BOTTOM OF CURB =
 - FG FINISHED GRADE =
 - EG EXISTING GRADE =
 - FFE FINISHED FLOOR ELEVATION =
 - EOP EDGE OF PAVEMENT =
 - HP HIGH POINT =
 - LP LOW POINT =
 - SW SIDEWALK =
 - CL CENTERLINE =

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.



<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">APPR</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR					
NO.	REVISION	BY	DATE	APPR							
<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>											
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT GRADING & DRAINAGE PLAN</p>											
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 8px;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>											
<p>PROJECT NO. 096523009</p>											
<p>SHEET 4</p>											

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

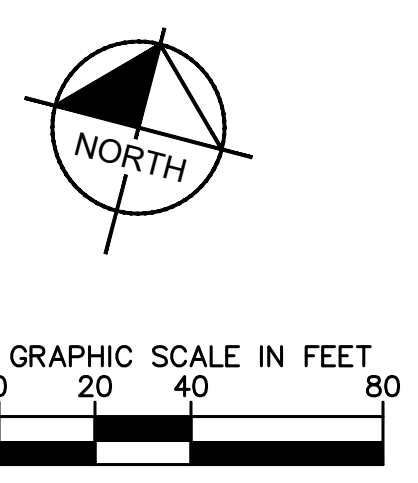


LEGEND:

- PROPERTY LINE
- - - ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
- - - EX. SANITARY SEWER LINE
- ⊗ EX. FLAGPOLE
- - - EX. OVERHEAD ELECTRICAL
- - - EX. GAS LINE
- EX. STORM INLET
- ⊙ EX. SITE LIGHT
- - - EX. SIGN
- PROP. 6" VERTICAL CURB
- ▭ PROP. BUILDING
- - - PROP. FIRE LANE
- - - EX. WATER LINE
- - - EX. FIRE PROTECTION LINE
- - - PROP. FIRE HYDRANT
- - - PROP. DOMESTIC LINE
- - - PROP. PRIVATE SEWER SERVICE
- - - PROP. PRIVATE FIRE LINE
- - - PROP. BUILDING SETBACK

- UTILITY GENERAL NOTES:**
- ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
 - FIRE WATER LINE TO BE REROUTED AROUND THE PROPOSED BUILDING.

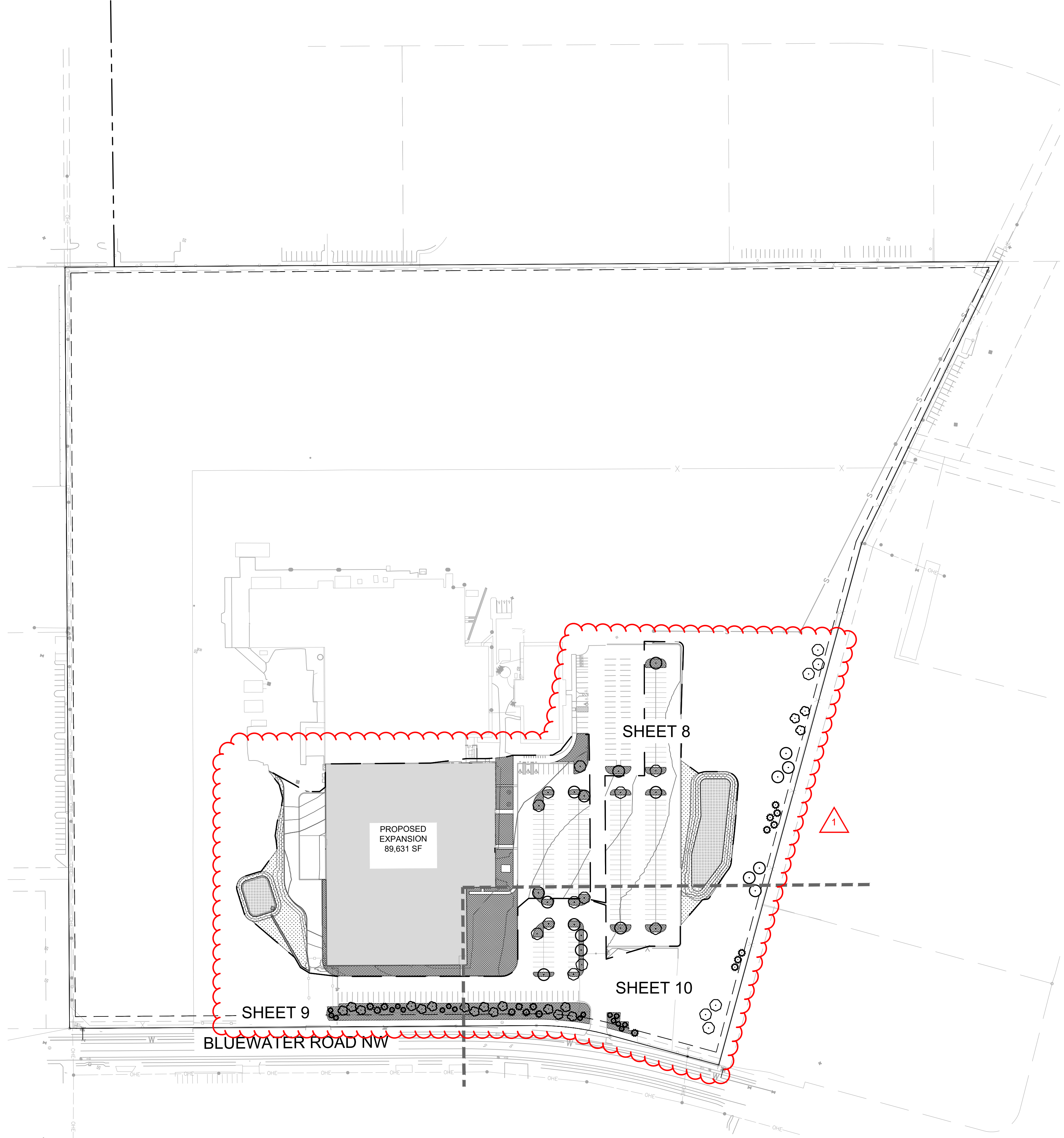
**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
INSTALLATION OF NEW SEWER SERVICE LINE, WATER SERVICE LINE, FIRE SUPPRESSION (ONSITE HYDRANT, FIRELINE TO EXPANSIONS NEW RISER ROOM, INTERIOR SPRINKLER SYSTEM, AND NEW FDC)**



<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<p style="font-size: 8px; margin: 0;">NO. _____ BY _____ DATE _____</p> <p style="font-size: 8px; margin: 0;">REVISION _____</p>
<p style="font-size: 10px; margin: 0;">LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>	
<p style="font-size: 10px; margin: 0;">ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT DETAILED UTILITY PLAN</p>	
<p style="font-size: 8px; margin: 0;">PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 10px; margin: 0;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>	
<p style="font-size: 8px; margin: 0;">PROJECT NO. 096523009</p>	
<p style="font-size: 8px; margin: 0;">SHEET 6</p>	

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND DESIGN PRESENTED HEREIN, IS INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND MODIFICATIONS TO THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND APPROVAL BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

1 MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
 ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
 LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
 SOUTHERN PROPERTY LINES



PLANT SCHEDULE LANDSCAPE AREA

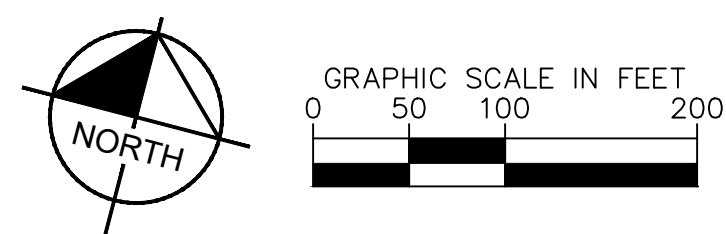
DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST
	SD	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME
	JS	JUNIPERUS MONOSPERMA	ONESEED JUNIPER
	PN	PINUS NIGRA	AUSTRIAN PINE
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE

EXISTING GOVERNING SITE PLAN PLANTING SCHEDULE

		spacing		mature size		emitters (number & size)	
		height	spread	young	mature	young	mature
	A	ARIZONA SYCAMORE (Platanus wrightii)	40'-80'	30'-60'	(3) 2 gal.	(6) 2 gal.	
	B	HONEY LOCUST (Gleditsia triacanthos)	50'	30'-40'	(3) 2 gal.	(6) 2 gal.	
	C	LIMBER PINE (Pinus flexilis)	25'	15'	(3) 2 gal.	(4) 2 gal.	
	D	RUSSIAN OLIVE (Elaeagnus angustifolia)	25'	15'	(3) 2 gal.	(4) 2 gal.	(NOT USED)
	E	DESERT WILLOW (Chilopsis linearis)	25'	15'	(3) 2 gal.	(4) 2 gal.	
	F	CHAMISA (Chrysothamnus nauseosus)	5'	5'	(1) 1/2 gal.	(1) 1/2 gal.	
	G	THREE-LEAF SUMAC (Rhus trilobata)	4'	4'	(1) 1 gal.	(1) 1 gal.	
	H	RED BARBERRY (Berberis thunbergii 'Atropurpurea')	3'	4'	(1) 1 gal.	(1) 1 gal.	
	I	JUNPER, CALGARY CARPET (Juniperus sibirica 'Calgary Carpet')	7'	9'	(1) 1 gal.	(1) 1 gal.	
	J	HALLS HONEYSUCKLE (Lonicera japonica 'halliana')	8'	1'-3'	(1) 1 gal.	(1) 1 gal.	

MINIMUM PLANT SIZES: TREES - 2" caliper or 10'-12', SHRUBS AND VINES - 5 gal.
 GRAVEL: 3/4" crushed gravel, 2" deep, Santa Fe brown
 FILTER FABRIC: DuPont "Typer" spunbonded polypropylene
 IRRIGATION SYSTEM: Landscape Contractor shall submit a drip irrigation plan for approval by Architect. Include electric valves and electronic timer. Provide necessary connections to existing water and electric.
 All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractors expense.



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EIWS
 DATE: 10/3/2023

LEGAL DESCRIPTION:
 TRACT A, TRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

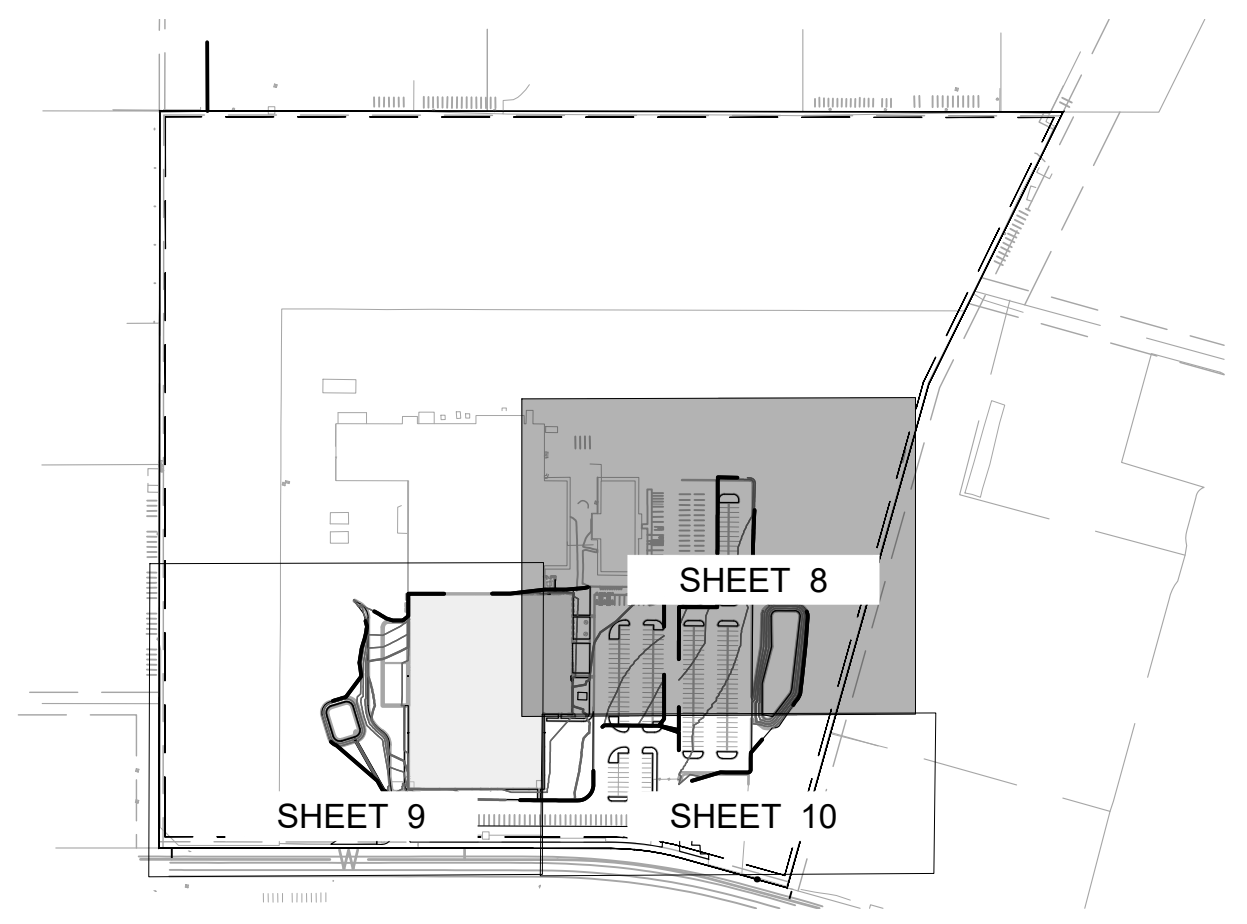
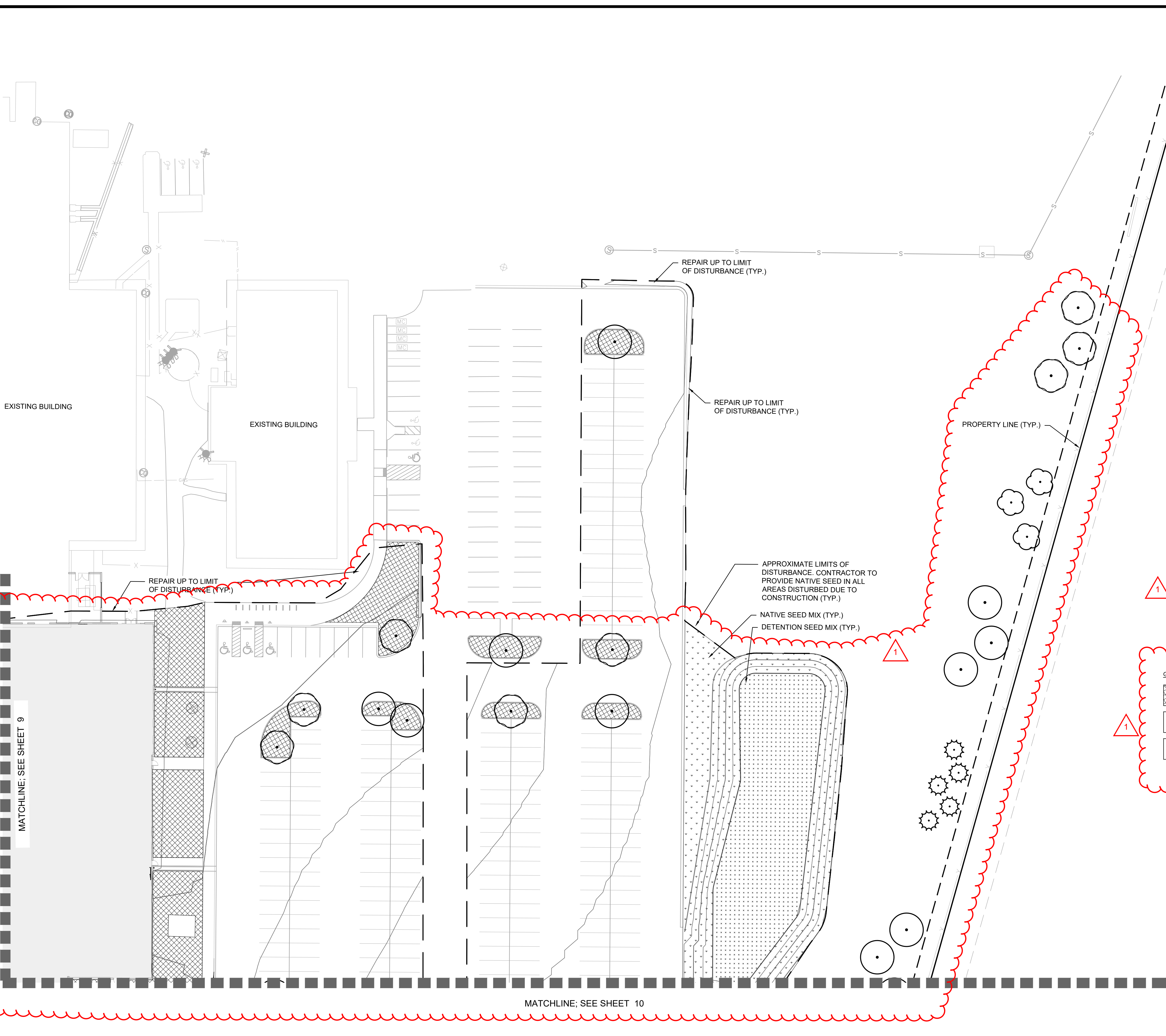
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 MAJOR AMENDMENT
 OVERALL LANDSCAPE PLAN

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION
Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096523009

SHEET

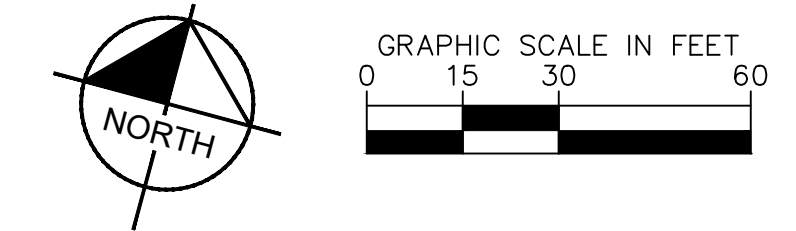
THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.



**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES**

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

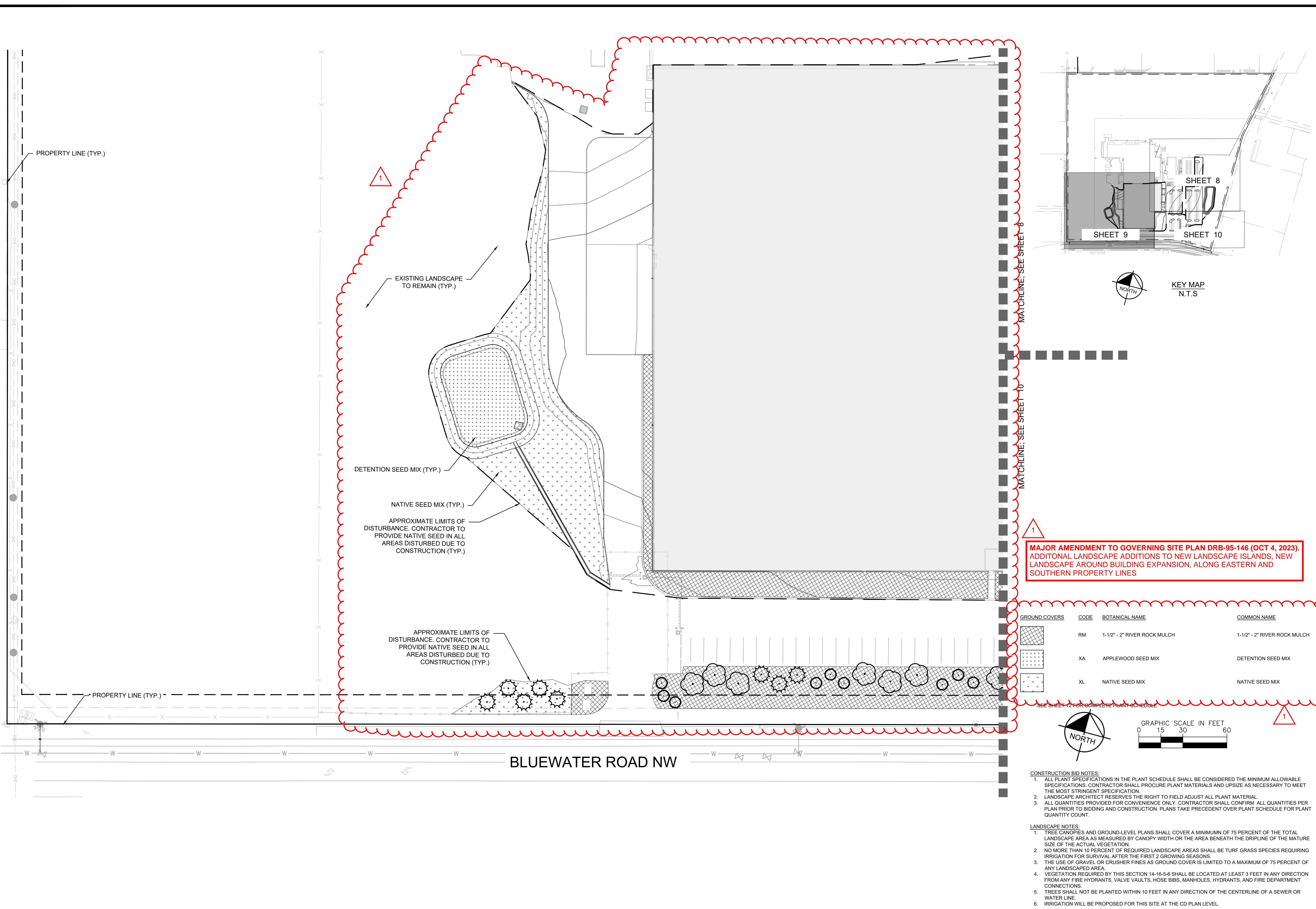
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
DETAILED LANDSCAPE PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

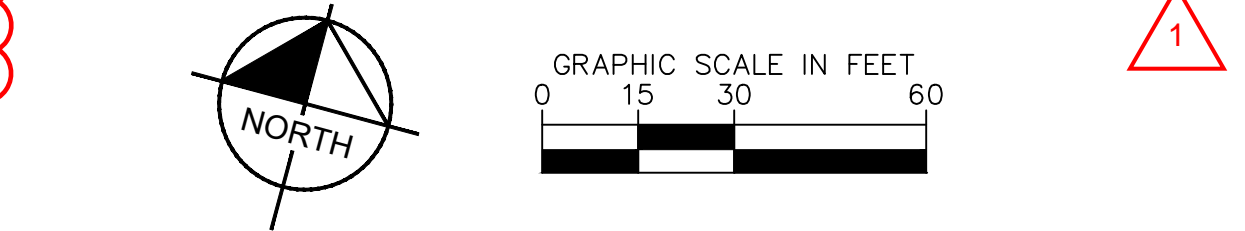
SHEET
8

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REVIEW OF AND RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ASSUMPTION OF LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
SOUTHERN PROPERTY LINES**

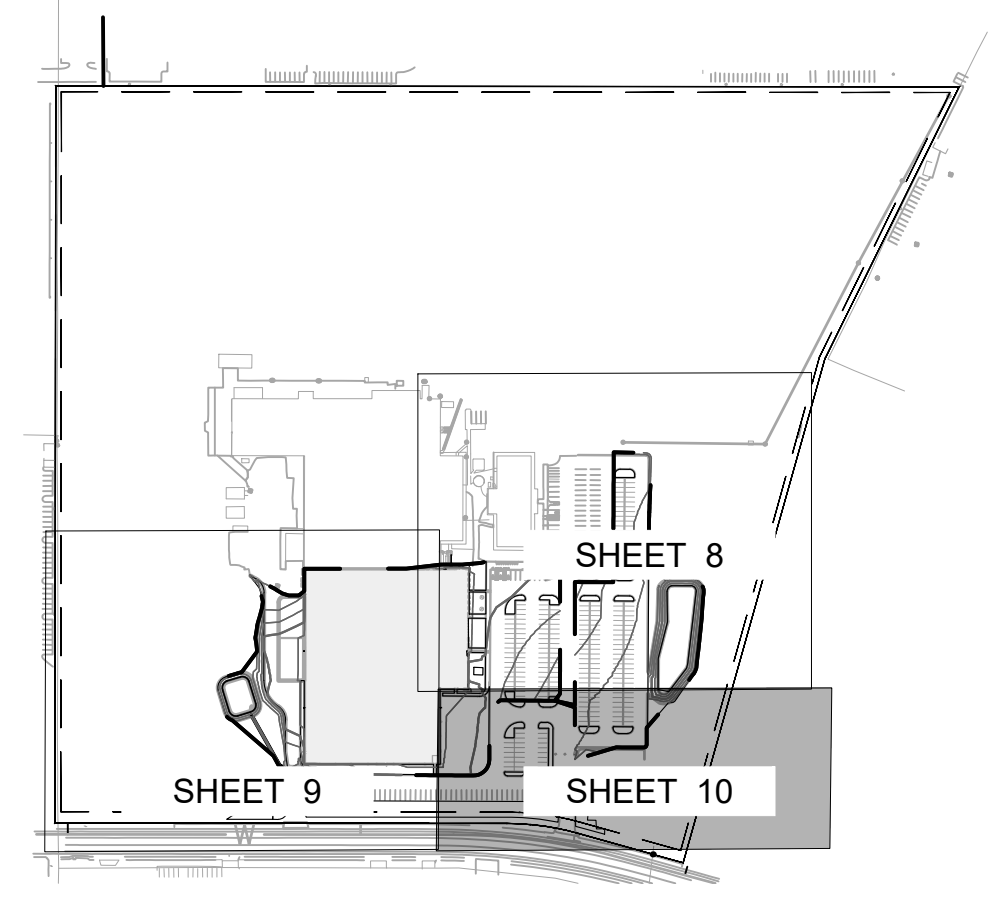
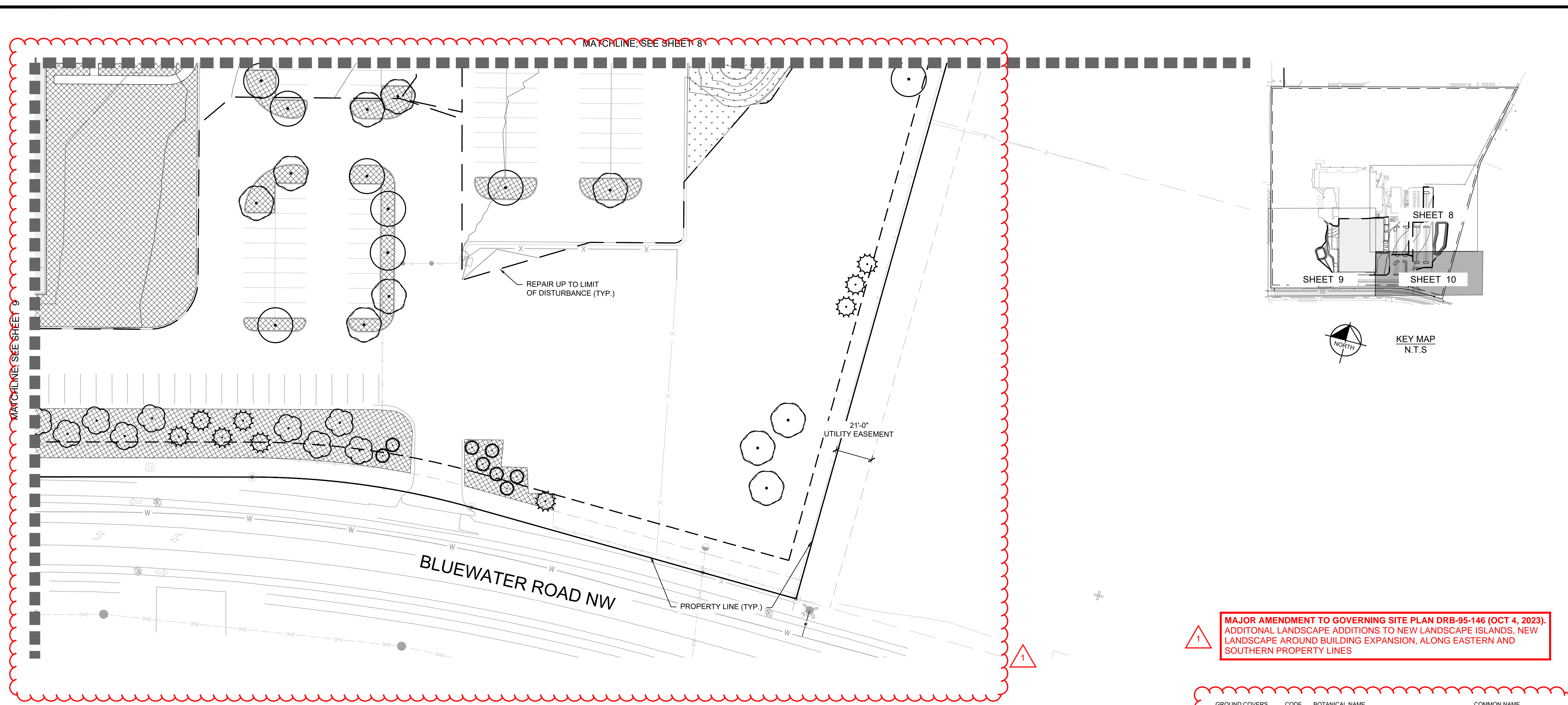
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETECTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16.5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

<p>Kimley»Horn</p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p> <p>DESIGNED BY: ECS DRAWN BY: ECS CHECKED BY: EIWS DATE: 10/3/2023</p> <p>LEGAL DESCRIPTION: TRACT A, ATRISCO BUSINESS PARK, UNIT 1, CONTAINING 39.775 ACRES</p> <p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT DETAILED LANDSCAPE PLAN</p> <p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>PROJECT NO. 096523009</p> <p>SHEET 9</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> <th>APPR.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR.					
NO.	REVISION	BY	DATE	APPR.							

THIS DOCUMENT, TOGETHER WITH THE CONTRACT, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND GOVT FOR WHICH IT WAS PREPARED. BEFORE OF AND WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUL LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



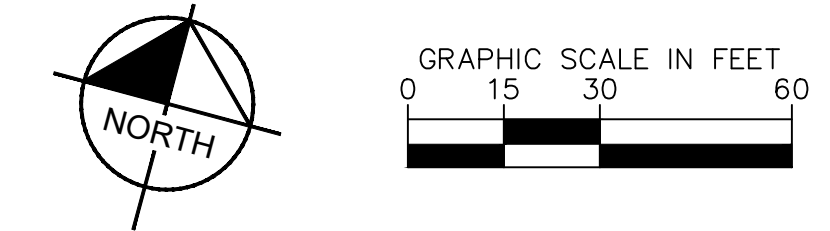
NORTH

KEY MAP
N.T.S

**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
SOUTHERN PROPERTY LINES**

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.

- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

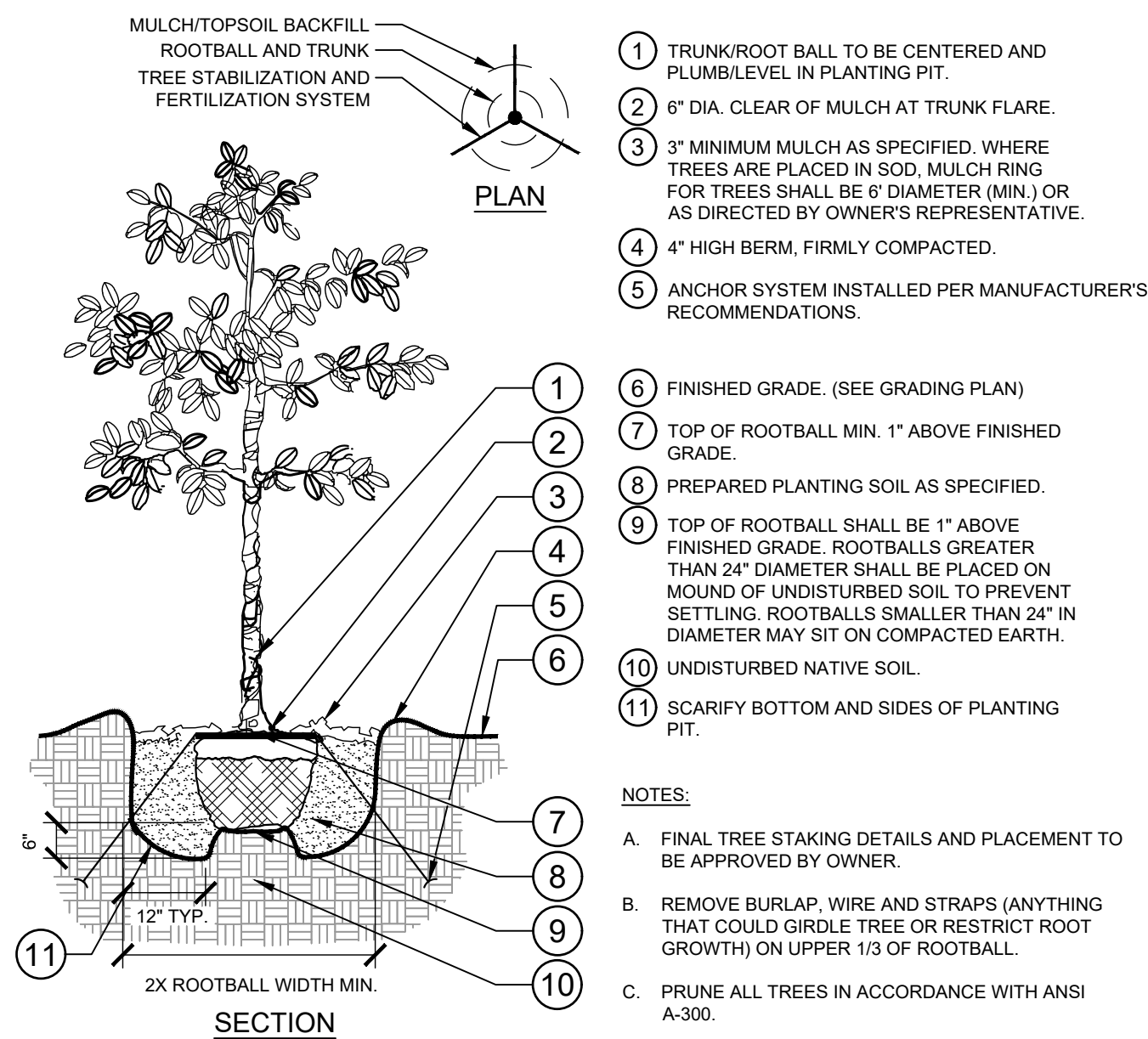
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
DETAILED LANDSCAPE PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

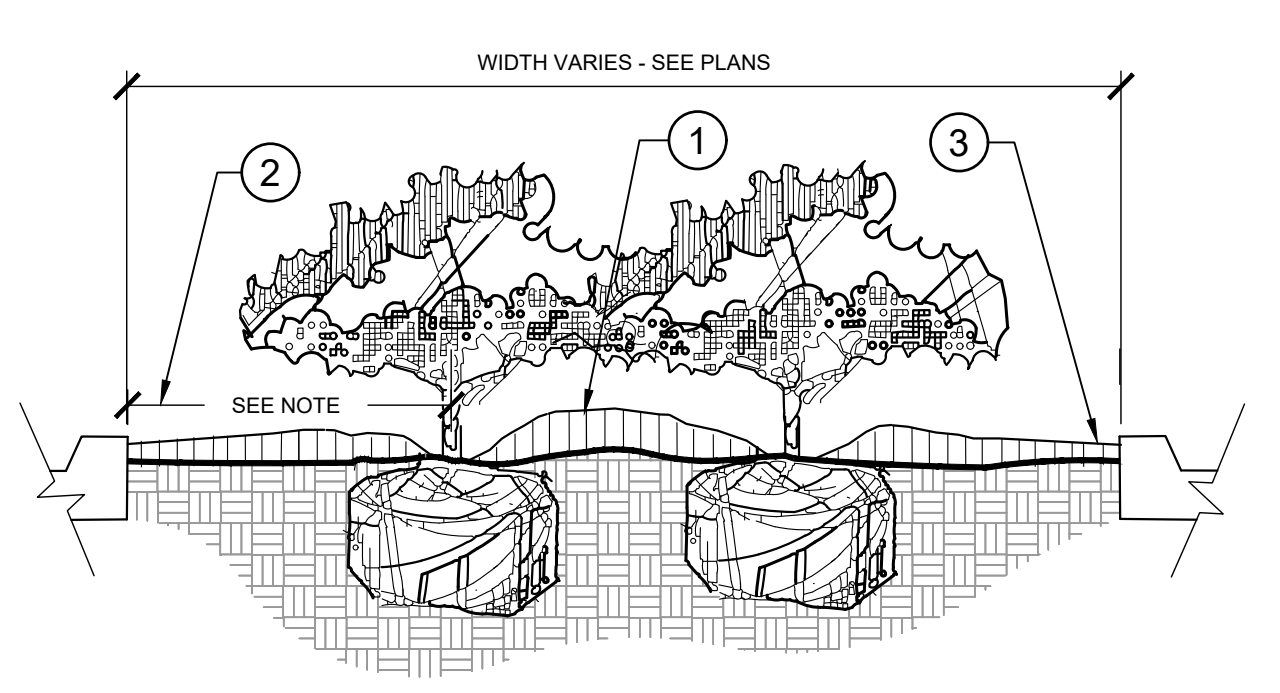
PROJECT NO.
096523009

SHEET
10

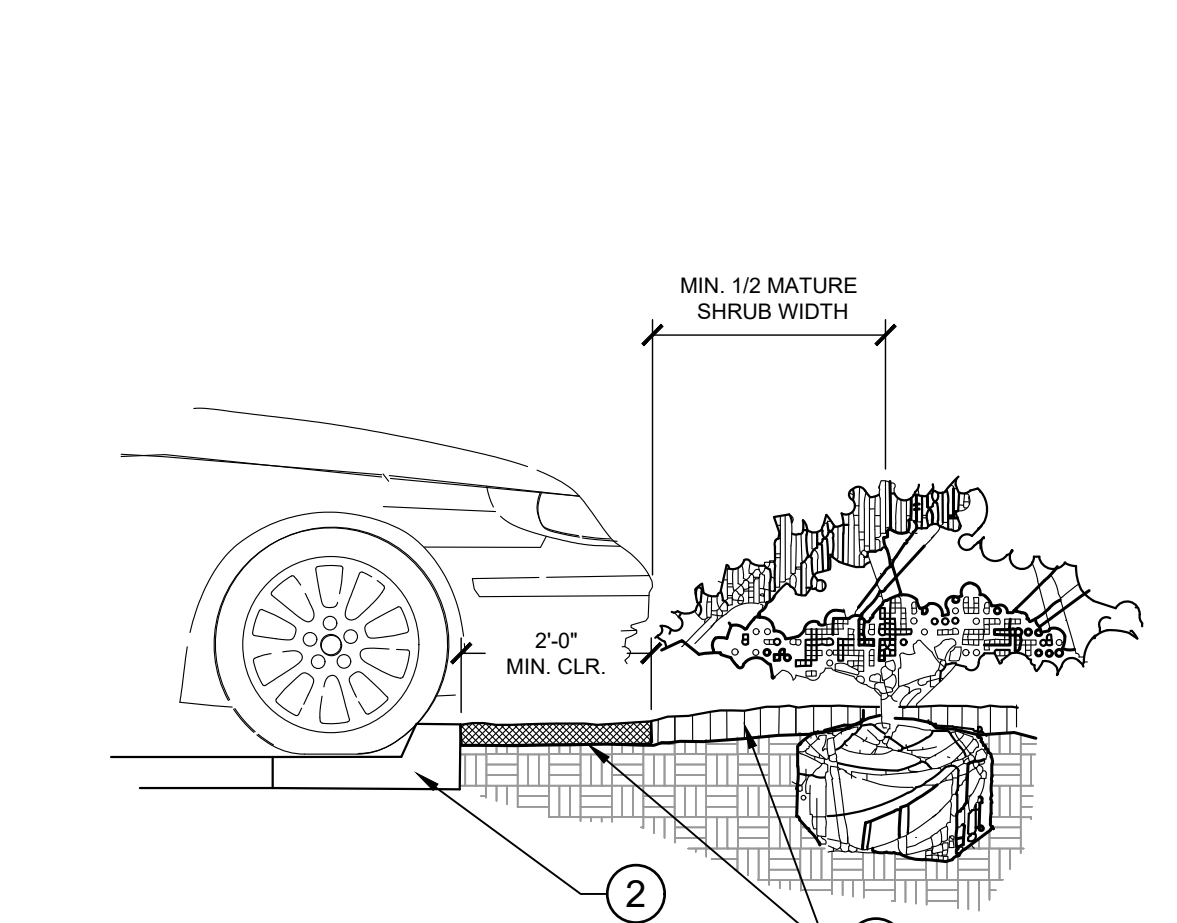
THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND ANY ADDENDUMS, SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. THE DOCUMENT, TOGETHER WITH THE CONTRACT, AND ANY ADDENDUMS, SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



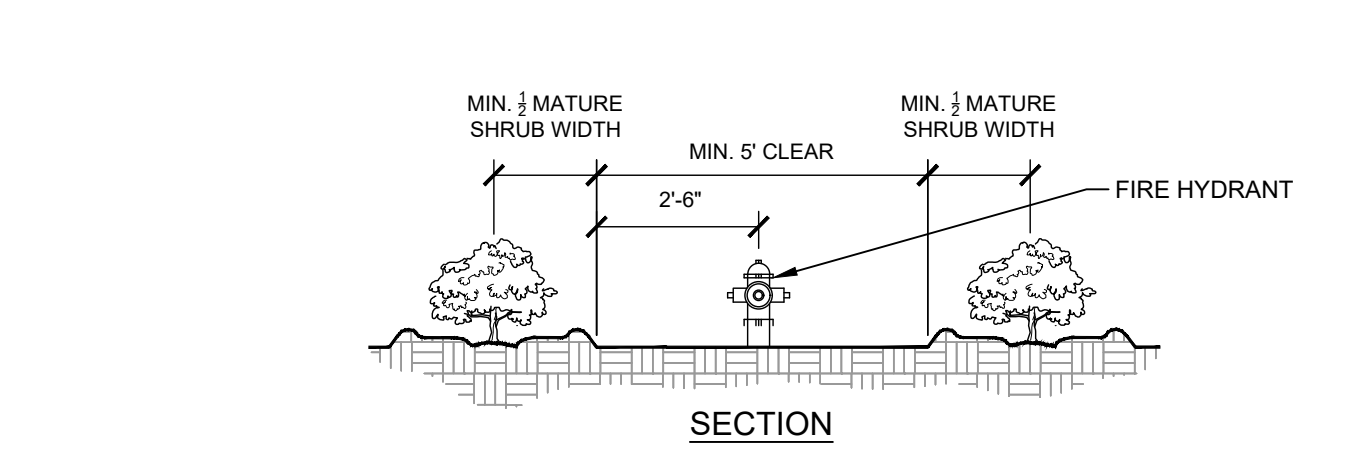
1 TREE PLANTING
SECTION / PLAN
NTS



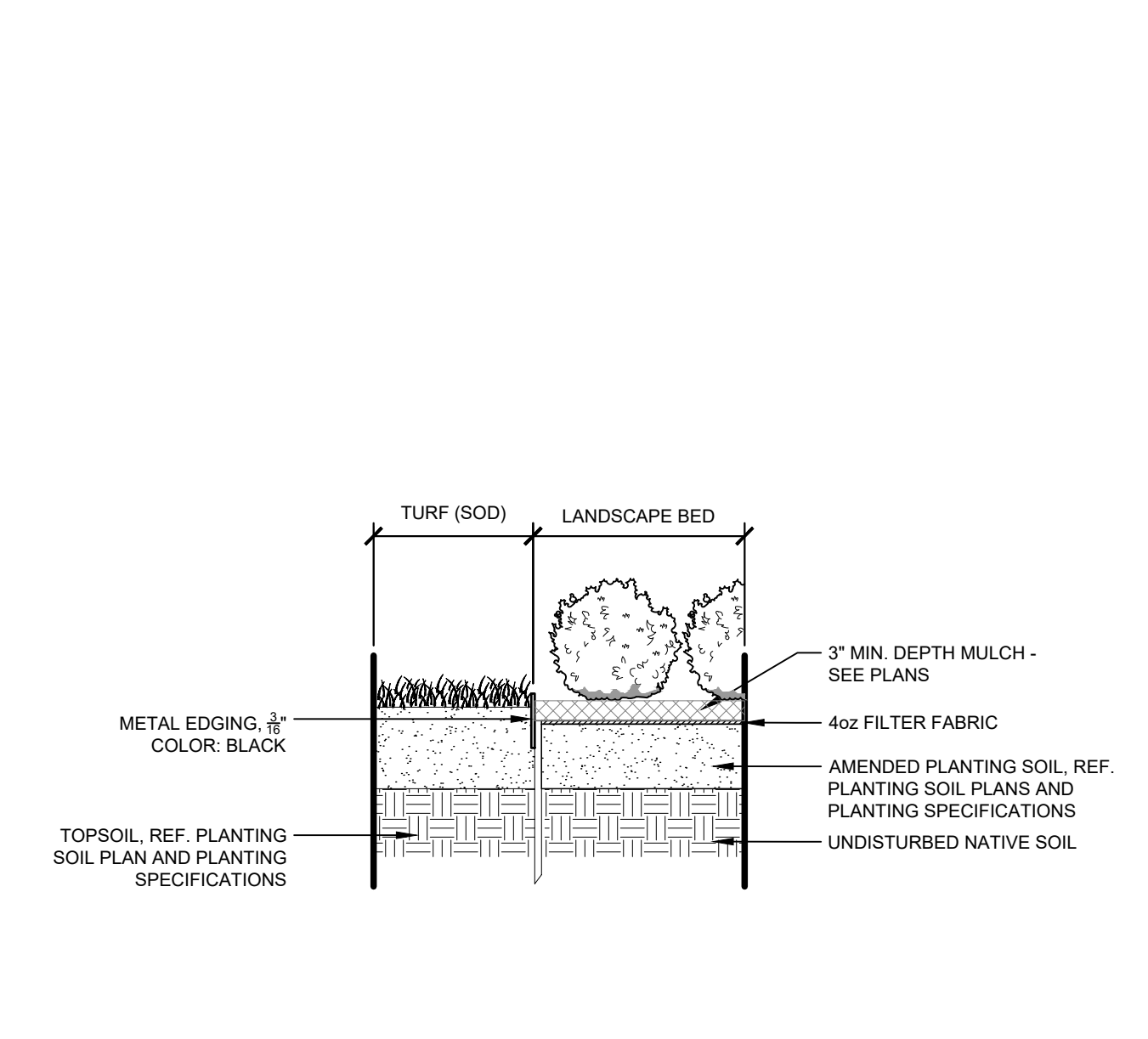
2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



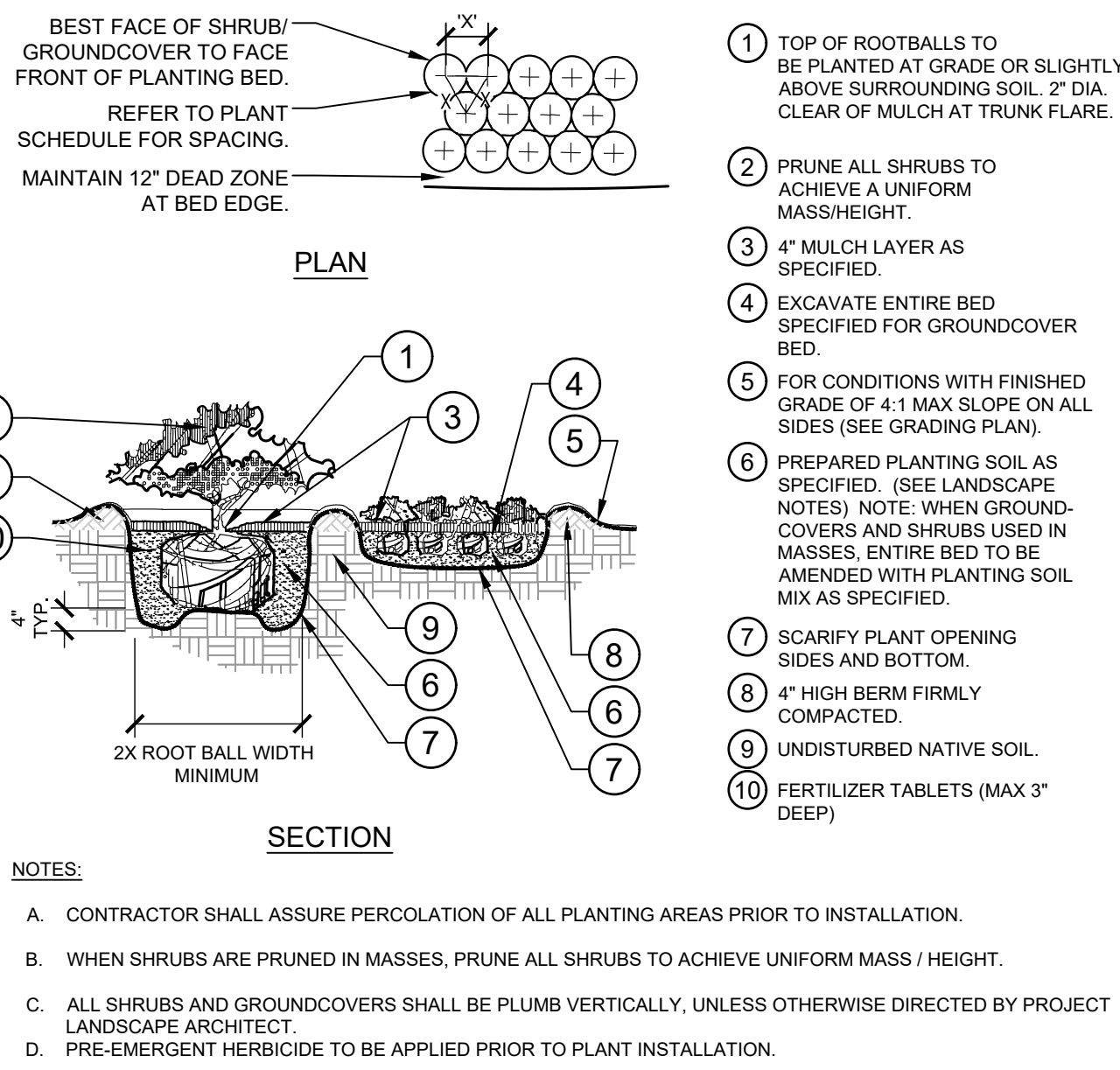
3 PARKING SPACE/CURB PLANTING
SECTION
NTS



4 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS



5 METAL EDGER AT PLANTING BED
SECTION / PLAN
1" = 1"
096-523-009-21
NTS



6 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS

PLANT SCHEDULE LANDSCAPE AREA

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CO	18	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
	GS	18	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.
	SD	18	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	JS	17	JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN
	PN	22	PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	45,464 SF	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH			
	XA	11,502 SF	APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED		
	XL	22,444 SF	NATIVE SEED MIX SEE DETAILS FOR SEED MIX	NATIVE SEED MIX	SEED		

NATIVE SEED MIX

NATIVE-GRASS SEED MIX SHALL BE 50% / 50% (BY WEIGHT) COMBINATION OF BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA, AND BUCHLOE DACTYLOIDES - BUFFALO GRASS, APPLIED AT A RATE OF 100# PLS/AC

CODE TABLE

LANDSCAPE AREA
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF

TOTAL GROSS LOT AREA	1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN)	103,007 SF
TOTAL BUILDING AREA (PROPOSED)	89,631 SF
NET LOT AREA	1,547,153 SF

TOTAL NET LOT AREA	1,547,153 x 20% =
TOTAL LANDSCAPE REQUIREMENT	= 309,431 SF

EXISTING LANDSCAPE	285,700 SF
PROPOSED LANDSCAPE	79,410 SF
TOTAL LANDSCAPE AREA PROVIDED	365,110 SF (23%)

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA)	79,410 x 75% =
TOTAL COVERAGE REQUIREMENT	= 59,558 SF
TOTAL COVERAGE PROVIDED	= 60,783 (76%)
COVERAGE OF GROUND-LEVEL PLANTS REQ.	= 19,965.5 (25%)
COVERAGE OF GROUND-LEVEL PLANTS PROV.	= 33,946 (42%)

14-6-5-6(F) PARKING LOT LANDSCAPING

258 PROPOSED PARKING STALLS	
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED =	26 TREES
TOTAL TREES PROVIDED	26 TREES

14-6-5-6(D) STREET TREE LANDSCAPING

1,118 LF OF STREET FRONTAGE	
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROVIDED	45 TREES

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA

NURSE CROPS:

COMMON OATS	AVENA SATIVA
ANNUAL RYE	LOLIUM MULTIFLORUM

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER.

PRODUCT CODE: DBWT
PLANTING RATE: 35 LBS./ACRE
*MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES

NO.	REVISION	BY	DATE	APPR.

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
LANDSCAPE DETAILS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET
12

SUPPORTIVE DOCUMENTS

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DHO Project No.: _____
DHO Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

TRACT A-1, UNIT 1 ATRISCO BUSINESS PARK

PROPOSED NAME OF PLAT

TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	1,380 sf	Construct new asphalt pavement (new 10.5' wide turn lane)	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6" curb and gutter	Construct new curb and gutter	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6' wide concrete sidewalk	Construct new concrete sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	3,053 sf	Demolition of existing curb and gutter, and sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	1,500 sf	striping	Bluewater Rd NW	Existing eastern entrance	SE property line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

MADISON JUREWICZ
NAME (print)

KIMLEY-HORN AND ASSOCIATES
FIRM

Madison Jurewicz 1/30/2024
SIGNATURE - date

_____ PLANNING - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

_____ CITY ENGINEER - date

_____ PARKS & RECREATION - date

_____ AMAFCA - date

_____ CODE ENFORCEMENT - date

_____ HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

September 5, 2023

RE: Sensitive Lands Analysis, 6625 Bluewater Road NW, Tract A

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2 for the lot located at 6625 Bluewater Road NW legally identified as Tract A Atrisco Business Park Unit 1. We have analyzed the project site for the presence of sensitive lands and constraints related to such lands. No sensitive lands will be affected by development on the subject property; however, the site does contain a sensitive land onsite associated with a floodplain.

- a) **Arroyos:** The site does not contain any arroyos.
- b) **Floodplains and Special Flood Hazard Areas:** The subject site is in an area with a FEMA Flood Zone Designation AE as identified in FEMA FIRM Panel 35001C0329H, which is defined as follows:

AE flood zones are areas that present a 1% annual chance of flooding and a 26% chance over the life of a 30-year mortgage, according to FEMA. These regions are clearly defined in Flood Insurance Rate Maps and are paired with detailed information about base flood elevations.

The AE flood zone is fully contained within the limits of the parcel. The flood zone currently receives concentrated runoff generated from site development and is utilized as the retention basin. The net increase in required detainment volume generated by the new building addition and new paved parking areas will be captured and retained in a separate retention basin in order to avoid any impacts to the existing flood plain. Therefore, the floodplain onsite will remain untouched.



Figure 1: FEMA Flood Zone within Project Limits (shown in red)

- c) **Irrigated Facilities (acequias):** The site is not located in the valley and is not near any irrigation facilities.
- d) **Large stands of mature trees:** There are existing trees located throughout the lot that were installed per City landscape requirements throughout the various amendments onsite.
- e) **Riparian Areas:** No rivers or streams occur onsite and no riparian areas are identified.
- f) **Rock Outcroppings:** Outcroppings are defined in the IDO as being at least 6 feet in height and over 500 square feet. Therefore, there are no rock outcroppings on the subject property.
- g) **Significant archaeological sites:** The site has pursued a certificate of no effect as the site is already developed since the 1970's and the expansions proposed area in areas of development.
- h) **Steep Slopes and Escarpments:** The IDO defines steep slopes as land with 9% slope or greater. The property is relatively flat with minor locations of slopes above 9%. Majority of slopes 9% or greater sit on the adjacent parcels. Proposed improvements will not impact existing onsite steep slopes.

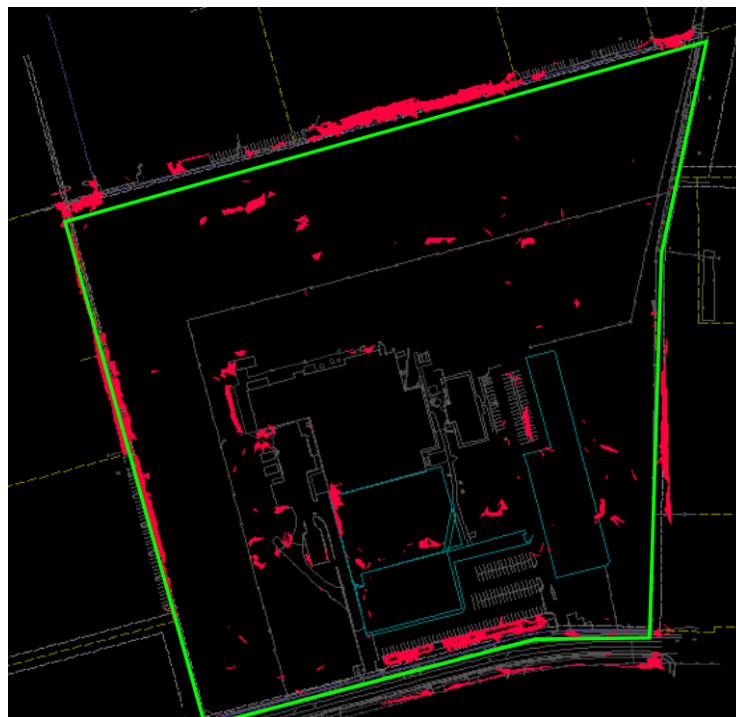


Figure 2: Steep Slopes onsite and adjacent to the subject property



Figure 3: Steep slope of gravel perm facing north from Bluewater Road



Figure 4: Steep slopes in landscape area for trees



Figure 5: Open space/flood zone area

- i) **Wetlands:** Utilizing the U.S. Fish and Wildlife Service Wetland Mapper, it is determined that no wetlands exist on the property.

Thank you for your consideration. Please do not hesitate to request any additional information that is needed.

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved Achieved in Part Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved Achieved in Part Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only N/A

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only N/A

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project ABB ABQ Addition and Application No _____.

Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Madison Jurewicz 9/6/2023

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- n/a A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- n/a B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- n/a A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

September 1, 2023

Letter of Authorization

To whom it may concern,

Please accept this letter to authorize Madison Jurewicz with Kimley-Horn and Associates to submit the Site Plan Application to the City of Albuquerque on behalf of the owners. This authorization is for the development of Tract A Atrisco Business Park Unit 1 located at 6625 Bluewater Road NW.

Let us know if you have any additional questions regarding this authorization.

Thank you for your time and consideration.

Sincerely,



David Jaramillo
General Manager, Albuquerque Facility



January 31, 2024

Development Facilitation Team
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN – ADMINISTRATIVE DFT JUSTIFICATION LETTER
ABB ABQ ADDITION
6625 BLUEWATER ROAD**

Dear Development Facilitation Team,

Please find the following request for approval of a Site Plan – Administrative DFT Submittal for the subject property known as ABB ABQ Addition. The subject site included is legally described as Tract A Atrisco Business Park, Unit 1, zoned NR-BP, and totals approximately thirty-nine acres (J-10-Z).

Project History

The site has been developed since the 1970's. The most recent Site Amendment was approved in 1995. The lot is currently utilized by ABB for uses associated with Light Manufacturing. A separate building exists for administrative uses. The existing manufacturing warehouse totals approximately 90,000 square feet.



Map showing Subject Site in Red

The site is located within the Atrisco Business Park Master Plan (ABP Master Plan). The original approved land use on the subject site was IP Industrial Park, with zoning SU-1 for Planned Industrial Park, which converted to NR-BP upon adoption of the IDO. SU-1 zones were controlled by the EPC.



City Zoning Maps

Proposed Site Plan and IDO Justification

The project includes the expansion of an existing manufacturing warehouse and extension of existing onsite parking. The 93,000 gsf building expansion will include additional manufacturing area, a customer experience center, conference room, and employee break and restrooms, and will connect to the existing approximate 93,000 gsf manufacturing warehouse.

Additional site improvements will include:

1. New landscape along the building expansion, new landscape islands, and site perimeter in compliance with the latest IDO.
2. Relocating existing parking demolished by the building expansion and increased onsite paved parking areas. The total parking count is estimated at 368 stalls.
3. Relocation of an existing onsite fire hydrant and fire supply line to route around the proposed addition. Additional wet and dry utilities to support expansion.
4. Offsite improvements associated with a new right turn lane into the project site and left turn striping revisions at the intersection of Coors Blvd & Bluewater and Unser & Bluewater. These will be tied to the Site Plan process.

The Expansion project has gone through the following City process:

- 1) Major Amendment to Site Plan – EPC (PR-2023-009209): A Major Amendment to the governing site plan was submitted and hear on 10/19/2023 and received conditional approval.
- 2) Sketch Plan with DFT (PR-2023-009833).: A Sketch plan submission was made to the DFT and reviewed on 11/01/2023. Following the Sketch Plan Review, coordination was had with Bonnie

Strange and Jolene Wolfley regarding City review comments pertaining to Building Façade, screening, and site landscaping. Email correspondence is attached noting the permitted increase shade tree spacing along the sidewalk adjacent to the eastern building face and removal of request to provide screening landscaping along the R-MH zoned parcel along the NW parcel corner.

14-16-6(G)(3) Site Plan EPC – Review and Decision Criteria

(a) – The Site Plan complies with all applicable provisions of this IDO, the DPM, there adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Response: The property complies will all requirements of the IDO, the DPM, and previous approvals. The Site Plan provides adequate onsite parking for standard, handicap, motorcycle, and bicycle parking. The site provides approximately 368 parking stalls, 9 being ADA stalls and 4 being EV charging. There are also 6 motorcycles, 1 loading, and 20 bicycle spots. Two onsite detention basins are proposed to capture the net increase of stormwater runoff prior to discharging into the onsite flood zone. Additional landscaping is proposed along Bluewater Road in accordance with the current IDO. Landscape improvements have been limited to the extents of the proposed expansion. The proposed expansion building height is in compliance with the maximum building height allowed on the zoned lot.

(b) – The City's existing infrastructure and public improvements, including but not limited to its streets, trails, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 1-6-1-7(B)(2) and 14-16-5-4(N) and/or signed an Infrastructure Improvement Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Response: Due to the total anticipated daily traffic post expansion, a Traffic Impact Study is required for the site due to the increase of daily employees from the building expansion. The City/NMODT have requested public improvements. These improvements include increase the West Bound left turn lane queue length at Unser and Bluewater intersection, adding a secondary east bound left turn lane at the intersection of Coors Blvd and Bluewater, and installing a new right turn lane into the project site. These improvements will be tied to the Site Plan process as ROW dedication is required for right turn lane installation which is through the DHO via a Minor plat.

The existing curb cuts will be utilized by the expansion. Public sidewalk existing within the private site and public sidewalk existing along the frontage road, Bluewater Road that provides connectivity to the surrounding public streets and public transit stops. All drainage will remain onsite and will drain to one of two proposed detention basins that will mitigate the increased impervious runoff due to the expansion prior to draining to the onsite flood zone. No existing trails existing on or adjacent to the site.

(c) – If the subject proposed is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Response: The subject site is within the Atrisco Business Park master development and complies with all requirements within the comp plan. The Master Development requires screening of parking areas from public adjacent streets. Along Bluewater Road additional trees and shrubbery is proposed to provide additional screening of the onsite parking. Site security fencing, that currently exists, complies with the Master Development requirement of a mixture of masonry pillars and decorative wrought iron fencing. The security fencing along Bluewater Road currently consists of a mixture of masonry pillars and wrought iron fencing. Rooftop equipment will be screened from public view by materials of the same nature of the

building's basic materials. Parapets are proposed along the building roof to providing screening of any equipment on the roof.

(d) – If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Response: N/A the site is not within a Framework Plan.

Conclusion

Based on the information provided, we are requesting the DFT's approval of this Site Plan - Administrative to continue forward with pursuing Building Permits and construction onsite. If you have any questions, please reach out me at (720)464-2539 or madison.jurewicz@kimley-horn.com .

Sincerely,



Madison Jurewicz, EIT

Project Manager

Kimley-Horn and Associates



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE:

SUBJECT:

Case Number(s):

Agent:

Applicant:

Legal Description:

Zoning:

Acreage:

Zone Atlas Page(s):

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

REQUIRED NOTICES PER IDO TABLE 6-1-1

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Madison Jurewicz 1/30/2024
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

Watkins, Cole

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Thursday, February 22, 2024 1:32 PM
To: Watkins, Cole
Cc: Phelps, Randall
Subject: 6625 Bluewater Rd NW_FW: ABB ABQ - Office of Neighborhood Coordination Notice

You don't often get email from onc@cabq.gov. [Learn why this is important](#)

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Ted	Trujillo	nedcarla@live.c
Los Volcanes NA		Doug	Cooper	douglascooper@
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Jerry	Gallegos	jgallegoswccdg
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Geraldine	Ulibarri	gerulibarri1@g

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: Watkins, Cole <Cole.Watkins@kimley-horn.com>
Sent: Thursday, February 22, 2024 1:28 PM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Cc: Phelps, Randall <randall.phelps@kimley-horn.com>
Subject: RE: ABB ABQ - Office of Neighborhood Coordination Notice

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi,

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 2/22/2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Los Volcanes NA and SWAN Coalition

Name of NA Representative*: See attached Neighborhood Contact List

Email Address* or Mailing Address* of NA Representative¹: See attached Neighborhood Contact List

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: Cole.watkins @kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:
TBD - dependent on NA

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6625 Bluewater Rd NW, Albuquerque, NM 87121
Location Description _____
2. Property Owner* ABB Installations
3. Agent/Applicant* [if applicable] Cole.watkins @ Kimley-Horn and Associates
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan - Administrative
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

A Site Plan is proposed for an approximate 93,000 gsf building expansion to the existing 93,000 gsf manufacturing building. The expansion project proposes rework of existing site parking lot. A Major Amendment NA meeting was held on 9/5/2023 regarding the project.

5. This type of application will be decided by^{*}: City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)
- City Council Development Facilitation Team (DFT)

6. Where more information about the project can be found^{4*}:

Kimley-Horn and Associates: Cole.watkins; Cole.watkins @kimley-horn.com; 720-722-5996

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)^{5*} J-10-Z & K-10-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

Non-Applicable

4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 39.8 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] Character Protection Over Zone 3-4
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] Light Manufacturing
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

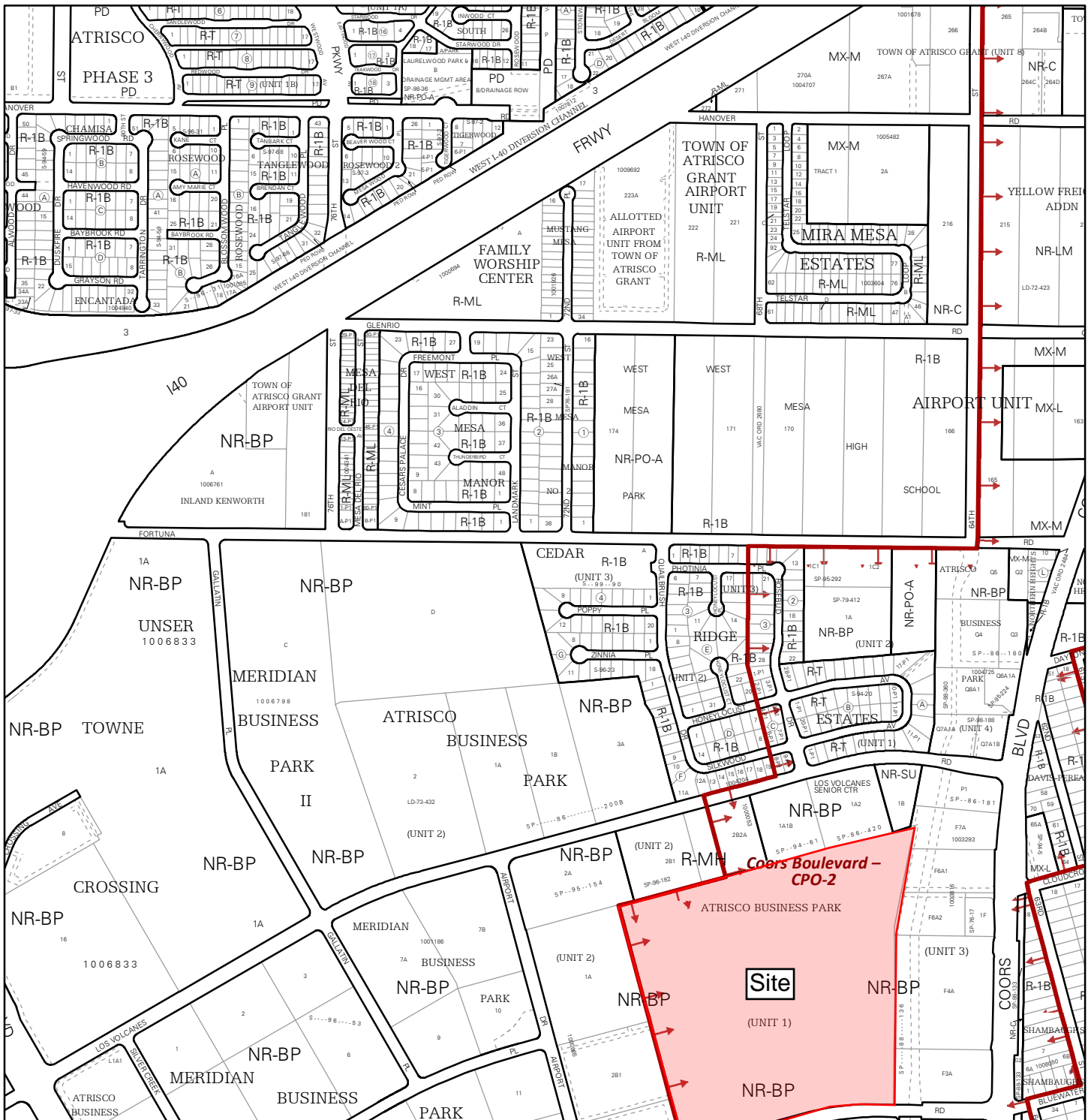
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Doug	Cooper	douglascooper@hotmail.com
Los Volcanes NA		Ted	Trujillo	nedcarla@live.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Luis	Hernandez Jr.	luis@wccdg.org
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Jerry	Gallegos	jgallegoswccdg@gmail.com

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

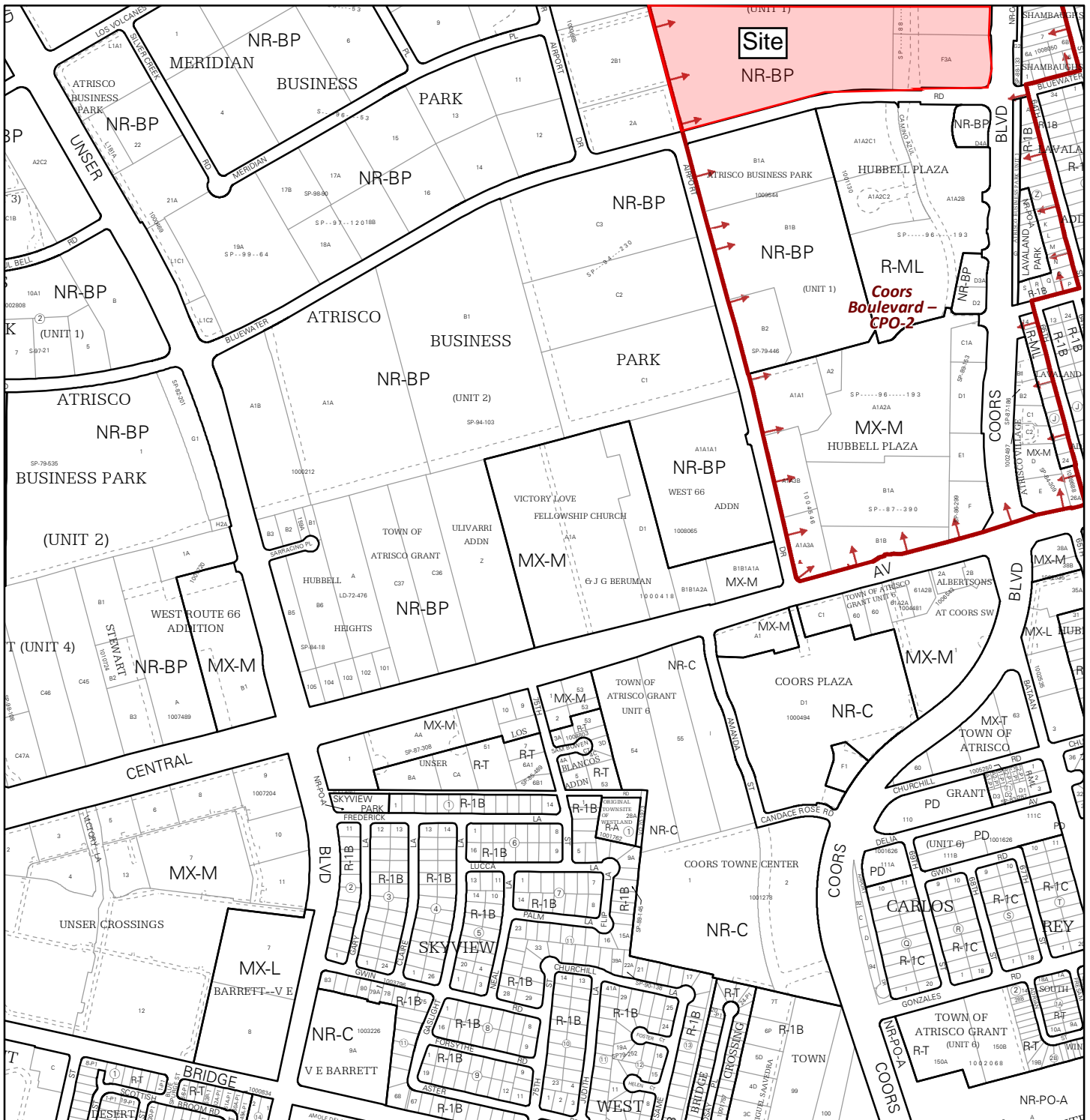
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone


Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

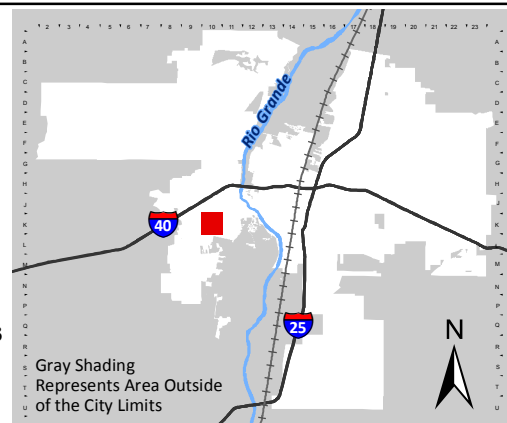


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).











Rio Grande

40 25

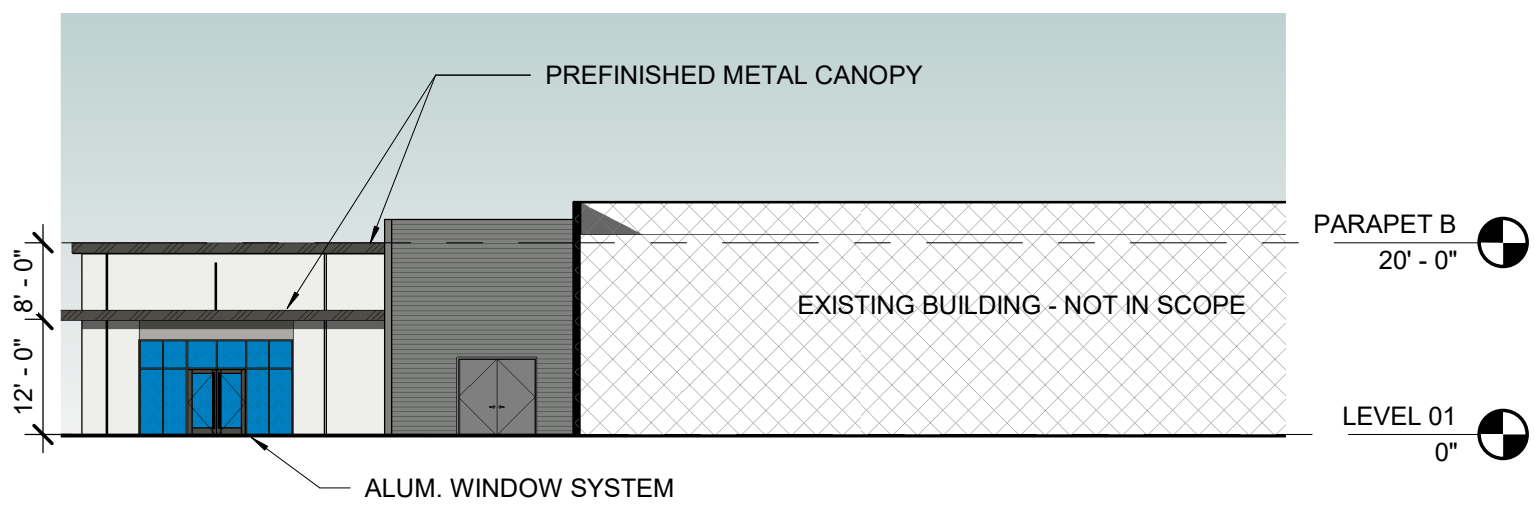
Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
K-10-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

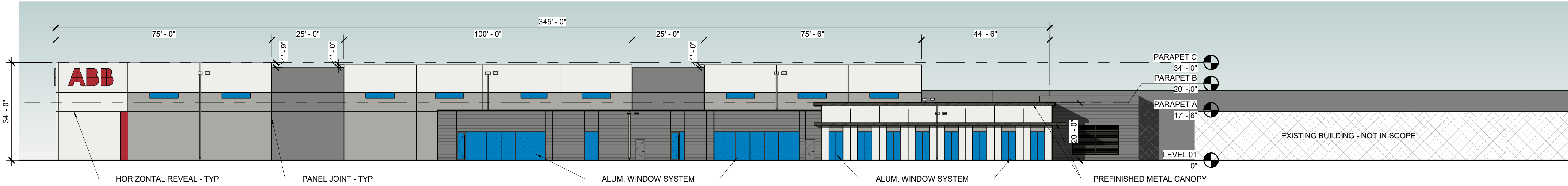
0 250 500 1,000 Feet

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PROJECT AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF ANY MATERIALS CONTAINED IN THIS DOCUMENT WITHOUT AUTHORIZATION AND ASSOCIATION BY ANY OTHER PARTY IS STRICTLY PROHIBITED. ANY SUCH REUSE SHALL BE WITHOUT LIABILITY TO THE ARCHITECT AND ASSOCIATES, INC.



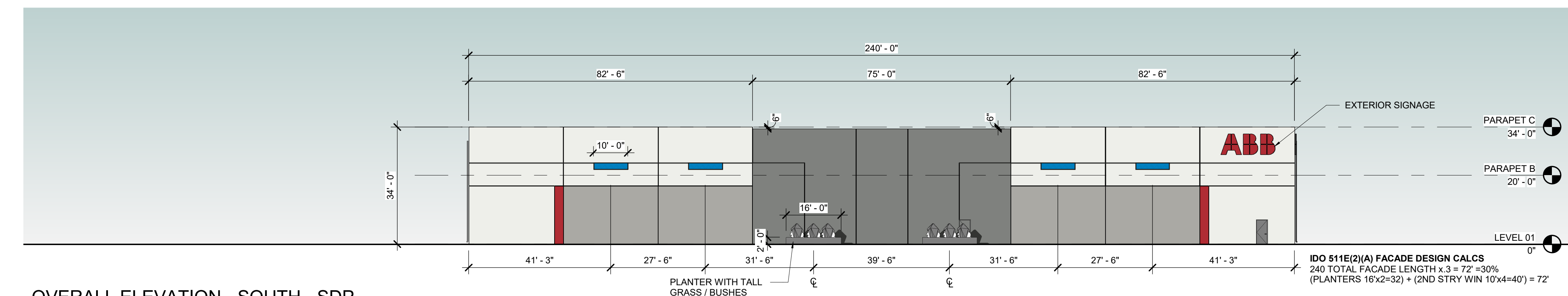
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



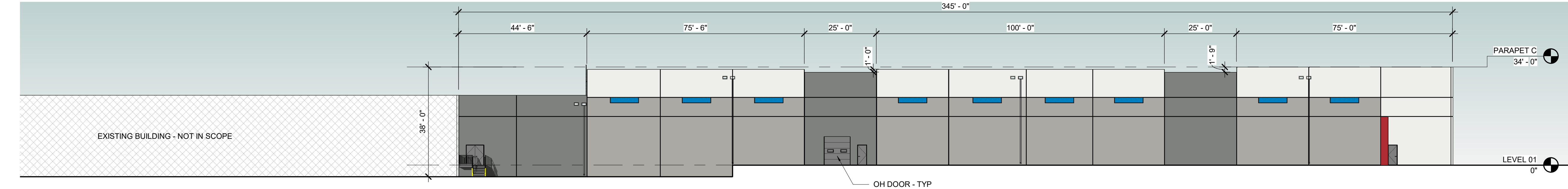
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

SCALE: 1" = 20'-0"



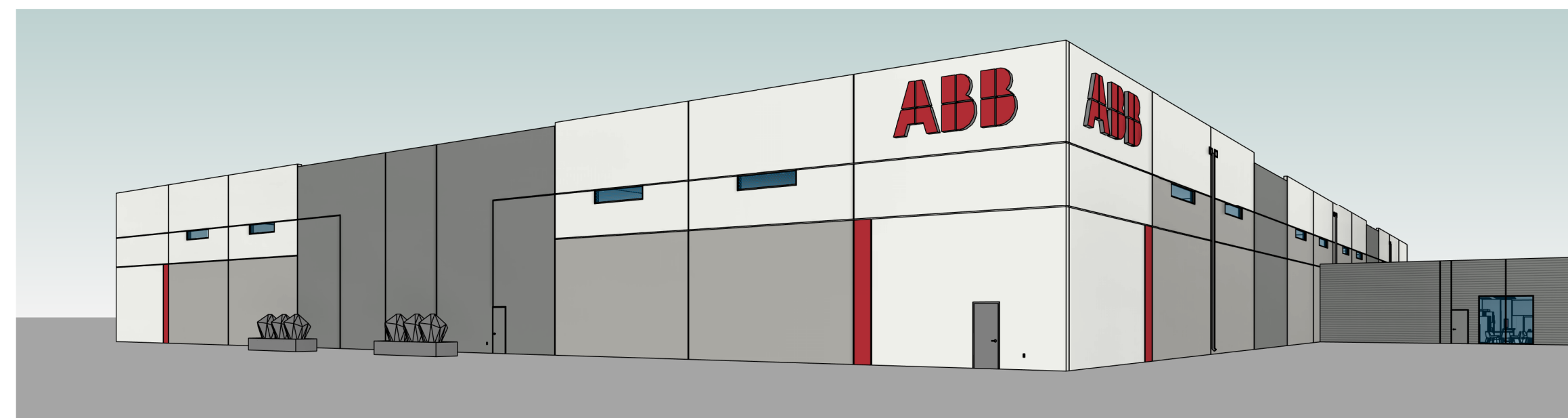
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



3D VIEW @ NE CORNER

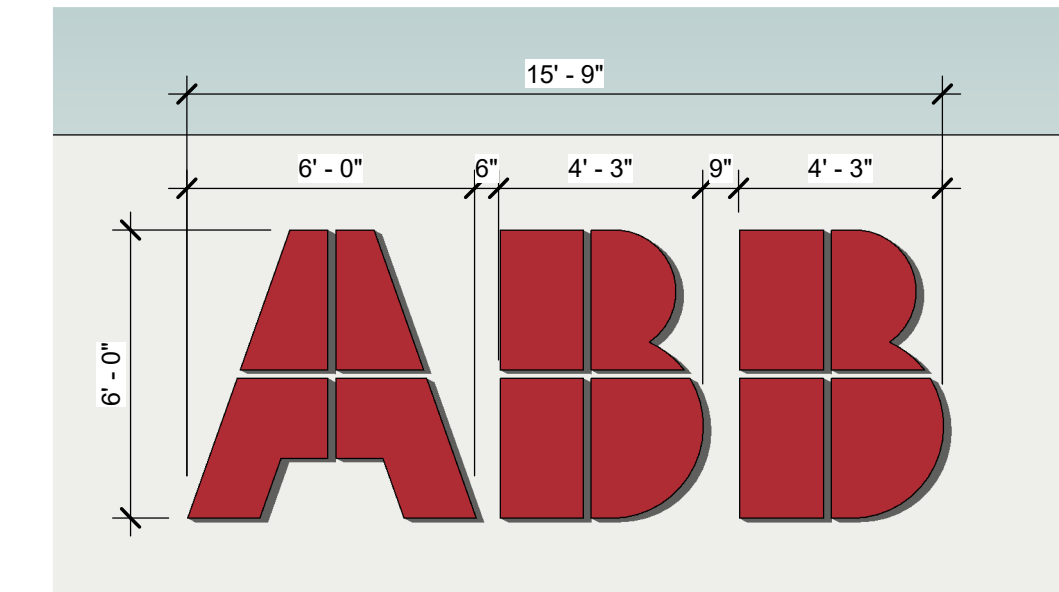
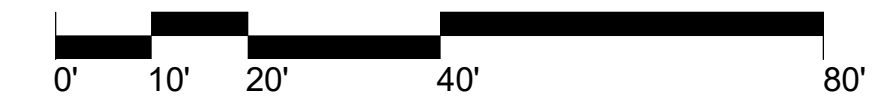
SCALE:



3D VIEW @ SE CORNER

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



SIGN NOTES:
SIGN AREA: 66 SF
TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"

NO.	REVISION	BY	DATE	APPR.

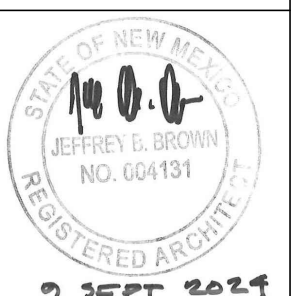
2150 W 29th Ave,
Suite 400
Denver, Colorado 80211
303.225.3345
www.powersbrown.com

powers brown architecture

DESIGNED BY: MF
DRAWN BY: MF
CHECKED BY: KS
DATE: 01/05/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO
BUSINESS PARK, UNIT 1
CONTAINING 39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
BUILDING ELEVATIONS



PROJECT NO. 096523009

SHEET A1.0

Watkins, Cole

From: Watkins, Cole
Sent: Thursday, February 22, 2024 3:14 PM
To: jgallegoswccd@gmail.com; luis@wccd.org
Cc: Phelps, Randall
Subject: 6625 Blue Road NW - Office of Neighborhood Coordination Notice
Attachments: ABB Expansion - Notice & Site Plan.pdf

Hi Luis & Jerry;

In accordance with the procedures of the City of Albuquerque's integrated development ordinance (IDO) subsection 14-16-6-4 (k) Public Notice, we are notifying you as a neighborhood Association/s that we will be submitting an application to the development Facilitation Team (DFT) for Site Plan Administrative approval. Please see the attached notice and site plan. We will be submitting for the 3/6 DFT meeting date.

Thanks,

Cole Watkins, EIT

Kimley-Horn | 6200 South Syracuse Way, Suite 300, Greenwood Village, CO 80111
Direct: 720 722 5996 | www.kimley-horn.com

Celebrating 16 years as one of FORTUNE's 100 Best Companies to Work For

Watkins, Cole

From: Watkins, Cole
Sent: Thursday, February 22, 2024 3:12 PM
To: douglascooper@hotmail.com; Ted Trujillo
Cc: Phelps, Randall
Subject: 6625 Blue Road NW - Office of Neighborhood Coordination Notice
Attachments: ABB Expansion - Notice & Site Plan.pdf

Hi Doug & Ted;

In accordance with the procedures of the City of Albuquerque's integrated development ordinance (IDO) subsection 14-16-6-4 (k) Public Notice, we are notifying you as a neighborhood Association/s that we will be submitting an application to the development Facilitation Team (DFT) for Site Plan Administrative approval. Please see the attached notice and site plan. We will be submitting for the 3/6 DFT meeting date.

Thanks,

Cole Watkins, EIT

Kimley-Horn | 6200 South Syracuse Way, Suite 300, Greenwood Village, CO 80111
Direct: 720 722 5996 | www.kimley-horn.com

Celebrating 16 years as one of FORTUNE's 100 Best Companies to Work For



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

Project No: PR-2023-009209 Date: 02/14/2024 Agenda Item: #3 Zone Atlas Page: NR-BP

Legal Description: Tract a, Unit 1 Atrisco Business Park

Request: Proposing A 93K GSF Expansion of an existing 90K GSF Manufacturing Warehouse at 6625 Bluewater Road NW. This will include improvements for additional Onsite Parking, Onsite Drainage Features, Landscape, Lighting, and Wet Utilities.

Location: 6625 Bluewater Road between Coors Blvd and Unser Blvd

Application For: SI-2024-00158 – SITE PLAT DFT

1. The subject parcel(s) have an existing ABCWUA water and sewer account.
2. Availability Statement #231023 has been issued and provides the conditions for service. All proposed water is coming from the existing 4" meter. Provide a RPBF device after the meter. Public extensions in accordance with the Availability statement are required for any additional service connections. All piping after the RPBF device is jurisdiction of the Plumbing Code and outside ABCWUA jurisdiction.

Comment: (Provide written response explaining how comments were addressed)

Responses:

1. Correct, the existing parcel currently has ABCWUA water and sewer account.
2. A Reduced Pressure Backflow Preventer (RPBF) was added to the private utility plan after the meter.

DEVELOPMENT FACILITATIVE TEAM (DFT)

Code Enforcement Comments

Disclaimer: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor
Planning Department
jppalmer@cabq.gov

DATE: 02/14/2024

AGENDA ITEM NO: 3

PROJECT NUMBER:

PR-2023-009209

SI-2024-00158 – SITE PLAN DFT

REQUEST: Proposing A 93k GSF Expansion Of An Existing 90k GSF Manufacturing Warehouse At 6625 Bluewater Road NW. This Will Include Improvements For Additional Onsite Parking, Onsite Drainage Features, Landscape, Lighting, And Wet Utilities.

LOTS/SUBDIVISION: Tract A, Unit 1, Atrisco Business Park

ADDRESS/LOCATION: 6625 Bluewater Road between Coors Blvd and Unser Blvd

ZONED: NR-BP **IDO:** 2022

COMMENTS:

1. Property is zoned NR-BP and is located within the Atrisco Business Park Master Development Plan. It is also located within CPO-2, the Coors Blvd Overlay zone. Must meet all requirements of the Atrisco Business Park MDP, CPO-2, and NR-BP for Dimensional standards, building design, signage, and any other applicable standards.
2. Please clarify all specific uses for parking calculations, such as areas to be used for Office, Light Manufacturing, Warehouse or Storage, etc.
3. Show how you are meeting the requirements for the required Outdoor Seating and Gathering area, as per 5-11(E)(3) – provide calculations. Requires one outdoor seating area of at least 400 sq ft for every 30,000 gsf.
4. Show how landscaping will screen waste storage and/or loading areas, as per Atrisco BP plan and IDO.
5. Any changes to signage must follow Atrisco BP plan, CPO-2, and/or IDO requirements, as applicable.
6. No further comments.

Responses:

1. The ABB factory addition has been designed with equally annunciated facades on all sides. Building panel heights are varied throughout and paired with color banding to create a diversity of structural forms. The buildings entry is part of smaller annex which provides a sense of scale for the glazing and moment for elevated materials. Texture wall materials are used to soften the scale and add a quality to the entry experience.

Lighting fixtures have been chosen to blend with architectural character of the building, and match existing styles of street lighting on the complex.

Buidling owner identification signs have been limited to 100sf on the buidling. No monument identification signs are planned at the street.

2. Added note on sheet C1.0 stating the specific uses of the parking. The parking provided is for Light manufacturing (F-1) and Office (B).

3. Outdoor seating and gathering area is already existing. Refer to sheet C1.1 for the callout (between existing office & existing manufacturing warehouse) and refer to sheet C1.0 for the calculations table. Survey did not provide seating within the survey.

4. No waste storage or loading areas within 550' of the ROW. Per coordination with Jeffrey Palmer, screening of the waste storage area at the loading dock is not required since it would not be "realistically visible from the street". See email screenshot.

From: Palmer, Jeffrey <jppalmer@cabq.gov>
Sent: Wednesday, February 21, 2024 12:36 PM
To: Kevin Strohfus <strohfus@powersbrown.com>
Cc: Cole Bishop <cbishop@HarveyBuilders.com>; Watkins, Cole <Cole.Watkins@kimley-horn.com>; Phelps, Randall <randall.phelps@kimley-horn.com>; Chris Parise <cparise@HarveyBuilders.com>
Subject: RE: ABB ABQ - DFT Site Plan Review Meeting - Trash Screening

I was apparently seeing something different. I see no need to screen the trash container at that location, as it would not be realistically visible from the street, being set back so far. If, in the course of this new construction project, you would be adding any landscaping in the area between the road and that unit, please just be conscious of that, and attempt to limit visibility by that landscape material.

Otherwise, it should be fine...no need for a wall, based on this information. Thank you.

ONE
ALBUQUE planning
ROQUE

JEFF PALMER

5. Understood



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2023-009209

SI-2024-00158 – SITE PLAN DFT

REQUEST: Proposing A 93k GSF Expansion Of An Existing 90k GSF Manufacturing Warehouse At 6625

Bluewater Road NW. This Will Include Improvements For Additional Onsite Parking, Onsite Drainage

Features, Landscape, Lighting, And Wet Utilities.

LOTS/SUBDIVISION: Tract A, Unit 1, Atrisco Business Park

ADDRESS/LOCATION: 6625 Bluewater Road between Coors Blvd and Unser Blvd

ZONED: NR-BP

IDO: 2022

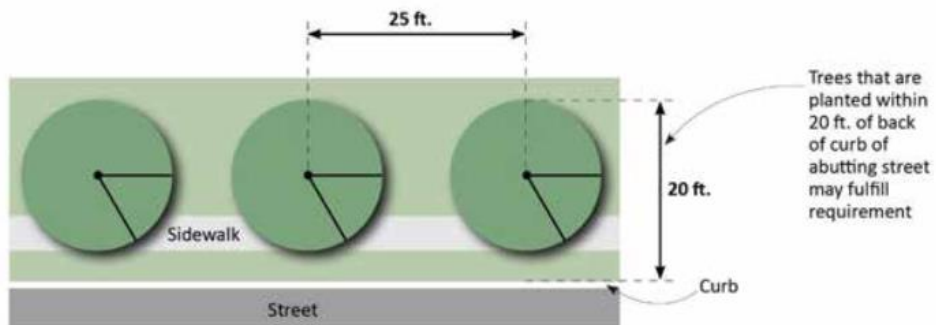
Comments:

02-14-2024

Responses:

1. Plans have added dimensions to show code compliance. Trees have been adjusted to fit within the 20'-0" landscape buffer and newly proposed 10'-0" UT easement. Proposing to meet code req. using existing trees on site that are outside of 20'-0" buffer. See alternate"

Please detail on the landscaping plan how the new street frontage trees are meeting the requirements in IDO 14-16-5-6(D)(1)(a), specifically the distance between species and the distance from the back of the curb on Bluewater.



DEVELOPMENT FACILITATIVE TEAM (DFT) - **HYDROLOGY SECTION**

Renée Brissette, PE, Senior Engineer | 505-924-3995 rbrissette@cabq.gov

DRB Project Number: 2023-009209 Hearing Date: **02-14-2024**

Project: 6625 Bluewater Rd Agenda Item No: 3

Sketch Plat

Site Plan for Bldg.
Permit

ENGINEERING COMMENTS:

- Hydrology has approved the Grading & Drainage Plan (K10D001) with engineer's stamp date 01/09/24.
- Hydrology has no objection to the Site Plan for Building Permit.

APPROVED
 DENIED

DELEGATED TO: TRANS HYD WUA PRKS PLNG

Delegated For: _____

SIGNED: I.L. SPSD SPBP FINAL PLAT

DEFERRED TO _____

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project Number: 2023-009388 aka 009209
6625 Bluewater

AGENDA ITEM NO: 3

SUBJECT: Site Plan

ENGINEERING COMMENTS:

1. Transportation has an approved Conceptual TCL dated 1/23/2024. A TIS is currently in review by NMDOT, but is at a point where infrastructure requirements are known.
2. Please list the ROW width at the narrowest point along the frontage to ensure it meets requirements in the DPM.

Disclaimer: The comments provided are based upon the information received from the applicant. If new or revised information is submitted, additional comments may be provided by Transportation Development.

FROM: Ernest Armijo, P.E.
Transportation Development
505-924-3991 or earmijo@cabq.gov

DATE: February 14, 2024

ACTION:

APPROVED __; DENIED __; DEFERRED __; COMMENTS PROVIDED __; WITHDRAWN __

DELEGATED: _____ TO: (TRANS) (HYD) (WUA) (PRKS) (CE) (PLNG)

Comment Responses



DEVELOPMENT FACILITATION TEAM

Planning - Case Comments

HEARING DATE: -- **AGENDA ITEM:** #3

Project Number: PR-2023-009209 (previously PR - 9388 for sketch plats)

Application Number: SI-2024-00158

Project Name: 6625 Bluewater Rd. Warehouse Expansion

Request:

DFT Site Plan and EPC Final Sign-off

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

Note: Items in orange type require a response.

- The EPC approved a Major Site Plan Amendment previously. Still waiting for the EPC Planner Memo to demonstrate compliance with EPC Conditions of approval for the Site Plan Amendment.
- A Sketch Plan was reviewed on 10/31/23 (PR 9388). A Sketch Plat was reviewed January 2024 (PR 9388). The Site Plan DFT is review is for an approximately 93,000 SF expansion of the existing approximate 92,000 SF light manufacturing facility.
- The subject property is zoned NR-BP (Non-Residential Business Park), which permits Light Manufacturing. It is within an Area of Change, the Coors Boulevard Character Protection Overlay Zone (CPO-2), and within 660' of the Coors Blvd. Major Transit Corridor.
- A Traffic Impact Study (TIS) was submitted which requested offsite improvements be constructed as part of the overall development, including the installation of a right turn lane into the project site on Bluewater Blvd., requiring ROW dedication to the City. The ROW dedication to the City would trigger the requirement for a replat approval by the Development Hearing Officer (DHO). ***Please confirm the status of the TIS review and the NMDOT approval.**
- Application for the subject property for a Site Plan-EPC Major Amendment was approved on October 19, 2023. ***Please provide confirmation that all EPC conditions have been cleared.**

Responses to orange text:

1. TIS has been approved by NMDOT. See attached PDF at the end of this comment letter. (I couldn't include the full NMDOT approval because the digital signature would be removed so I added a screenshot of the approved)

2. EPC was approved on Oct. 19, 2023. I have tried emailing William Steele and Megan Jones to confirm that all EPC conditions were cleared and request a post-EPC memo but got no response back. Please confirm during the next DFT meeting whether all the EPC conditions have been cleared.

- An Infrastructure List was included in the submittal. Confirm if IL is complete or if modifications are needed. Once approved, a recorded Infrastructure Improvements Agreement (IIA) must be submitted prior to final sign off of the Site Plan.

Responses

1. Infrastructure Not approved

- The subject property is located in Atrisco Business Park Master Development Plan and must meet requirements of the Master Development Plan and the Major Site Plan Amendment EPC & Conditions of Approval. Where those are silent, the site plan shall meet the requirements of the IDO and DPM.

Please demonstrate in more detail using updated documents/drawings and a comment response letter to clearly provide confirmation as to how the submittal is meeting the standards and requirements from the Atrisco Business Park; including, but not limited to any additional walls/fences, screening/buffering, façade & signage.

- Confirm compliance with section 7 of the DPM Table 7.2.29 regarding Sidewalk width requirements and its landscape buffer.

Verification of DPM standards per Transportation

Bluewater Rd. NW adjacent to the subject property is functionally classified as an Urban Major Collector outside of a Center and requires a 6-foot sidewalk and 5'-6' landscape buffer.

- DFT staff determined during sketch plat review that buffering would be as follows:
 1. Trees will be required along the the fence line on the east side of the property. Where the fence is chain link, both trees and shrubs will be required per IDO 5-6(E)(4)(b).

Responses

1. The ABB on all sides. Buffering to create a canopy which provides a Texture wall experience. Lighting fixtures building, and Building own monument

5-6(E)(4)(b) General

A landscaped edge buffer area shall be provided on the subject property along the property line between the two adjacent properties. For drainage facilities, a landscaped edge buffer area at least 15 feet wide shall be provided on the subject property along the property line between the two adjacent properties, unless a smaller edge buffer area is approved by the City Engineer as necessary on a particular lot.

1. If a wall at least 3 feet in height is provided or exists along the landscaped edge buffer area, 1 of the following requirements shall be met.

a. If the wall is located on the property line, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

b. Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met.

i. Landscaping that meets the requirements in Subsection 2. below shall be provided between the wall and the street.

ii. The landscaping shall be maintained by the owner of

Responses to orange text:

1. LANDSCAPE BUFFER WITH TREES AND SHRUBS ON EAST SIDE OF SITE WHERE APPLICABLE

the subject property.

2. If no wall is provided or exists, 1 tree at least 8 feet high at the time of planting and 5 shrubs shall be provided for every 20 feet along the lot line, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

Responses to orange text:
1. Understood

2. Because no alternations have been made on the site plan to the north of the existing warehouse building, a landscape buffer will not be required on the north side of the existing warehouse building.

▪ Please note that per **5-6(F)(1) Parking Lot Edges**

5-6(F)(1)(c) Where development is coordinated on 2 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the decision-making body.

Refer to *Atrisco Business Park Master Development Plan* for compliance.

▪ Per **5-6(G)(1)(b)** In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building’s architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway.

▪ **5-6(G)(2)(b) NR-C, NR-BP, NR-SU, and NR-PO Zone Districts** Outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties with low-density residential development to the maximum extent practicable.

▪ **5-7 Walls and Fences.** Any new walls/fences will require separate permitting.

▪ Plan appears to be meeting 5-8 Outdoor Lighting, however provide additional detail for CPO-2: *3-4(C)(5)(d) Outdoor Lighting*
The mounting height of light fixtures in off-street parking, other vehicular use areas, and/or outdoor storage areas shall be no higher than 20 feet above finished grade.

▪ Elevation pages were included in the submittal. Please explain how the façades are meeting the requirements of CPO-2 and 5-11.

3-4(C)(5)(e) Architectural Design and Details

- 1. The use of colors that contrast with the predominant color of the building is limited to 10 percent of each façade.
- 2. Parapet walls shall be treated as an integral part of the building design. Such walls shall not appear as unrelated visual elements.

Responses
1. Parking one tree for tree. Parking the require least 25-feet requirement

Response
1. The AB all sides. E to create a which prov Texture w experience Lighting fi building, a Buidling or monumen

3. In all zone districts, mechanical equipment shall be screened from public view from streets adjacent to the lot or from adjacent properties. The design of mechanical equipment screening shall be compatible with, and be an integral element of, the building structure. Location of such equipment within the building or at ground level is preferable to roof-mounting, unless such location would adversely affect the streetscape, pedestrian circulation, or open space.

Per 5-11(E)(2) Façade Design

5-11(E)(2)(a) General

1. Façades shall be designed to provide a sense of human scale at ground level by providing a clear architectural distinction between ground floor levels and all additional levels.
2. Each street-facing façade shall incorporate at least 2 of the following features (illustrated below) along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet:
 - a. Ground-floor transparent windows, with the lower edge of window sills no higher than 30 inches above the finished floor.
 - b. Windows on upper floors.
 - c. Primary pedestrian entrances.
 - d. Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
 - e. Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.
 - f. Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.
2. Each street-facing façade longer than 100 feet shall incorporate at least 1 of the following additional features.
 - a. Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.
 - b. A change in color, texture, or material at least every 50 feet of façade length and extending at least 20 percent of the length of the façade.
 - c. An offset, reveal, pilaster, or projecting element no less than 2 feet in width, projecting from the façade by at least 6 inches, and repeating at minimum intervals of 30 feet of façade length.
 - d. Three-dimensional cornice or base treatments.
 - e. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.
 - f. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.

Please explain how the south facing façade is meeting these requirements. It does not appear that the street facing façade (south) is meeting minimum façade requirements.

Responses to orange text:

1. Per Coordination with Robert Webb & Bonnie Strange. The south facing facade meets the IDO requirements. See email coordination attached at the end of this PDF

Responses:

1. Outdoor seating and gathering area is already shown on sheet C1.1 for the callout (between existing office & warehouse) and refer to sheet C1.0 for the callout. The callout does not provide seating. Gathering area was also shown on the landscape plans.

Jeff Palmer states in this letter that the outdoor seating and gathering area provided at a minimum of 400 SF.

- Per **5-11(E)(3) Outdoor Seating and Gathering Areas**
5-11(E)(3)(a) **General**

1. For primary buildings containing a use from the Transportation subcategory of Commercial Uses or from the Industrial Uses category in Table 4-2-1, at least 1 outdoor seating and gathering area shall be provided that is a minimum of 500 square feet.

It does not appear this requirement is being met. Please show minimum 500 SF gathering area including seating on Landscape Plan.

Site Plan notes existing area.

- Some signage detail was included in this submittal. Will you be submitting a detailed signage plan within this site plan file? Or will signage be handled at the building permit stage? Either will need to demonstrate how standards are being met per 3-4-C & 5-12, along with the Atrisco Business Park plan.

Responses:

1. Signage will be handled at the building permit stage.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Robert Webb/Jolene Wolfley
Planning Department

DATE: 2/13/24

CITY OF ALBUQUERQUE



Planning Department
Alan Varela, Director

TIS Approval

Mayor Timothy M. Keller

February 14, 2024

Madison Jurewicz
Kimley-Horn and Associates, Inc.
380 Interlocken Crescent
Suite 100
Broomfield, CO 80021
Via email madison.jurewicz@kimley-horn.com

Re: ABB Expansion
6625 Bluewater Road
Traffic Impact Study
HT#K10D011
Engineer Seal date 2/1/2024

Dear Ms. Jurewicz,

Review of the ABB Expansion Traffic Impact Study dated February 2024, received February 1, 2024 has been completed and approved by the City's Planning Transportation Development section. The TIS is approved with the following conditions:

1. All requirements and infrastructure improvements directed by the NMDOT shall be complied with.
2. The East Access on Bluewater Rd. shall be reconstructed to include a right-turn lane.
3. The west leg of the Bluewater Rd./Coors Blvd. intersection shall be reconfigured as outlined in the study by replacing the pavement striping, words and symbols, including the crosswalk and all required signing.
4. The westbound left-turn lane on Bluewater Rd. approaching Unser Blvd. shall be restriped to increase the turn lane length.

The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

Sincerely,

Matt Grush, P.E.
Senior Engineer
City of Albuquerque
Planning Department
Development Review Services

via: email
C: Applicant, File
Margaret Haynes, NMDOT D3 Traffic

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



New Mexico DEPARTMENT OF
TRANSPORTATION
MOBILITY FOR EVERYONE

- e. Traffic control permits within state right-of-way related to the proposed development shall be submitted to Mr. Israel Suazo at Israel.Suazo@dot.nm.gov
- f. All utility permits within state right-of-way related to the proposed development shall be submitted to Mr. Israel Suazo at Israel.Suazo@dot.nm.gov
- g. Once the design plans have been approved by Keith Thompson for construction, any proposed access points that will access a state facility shall obtain an access permit from Mr. Israel Suazo.

February 13, 2024

TIS Approval

If you have any questions, please feel free to call me at 505.288.2086 or email me at Margaret.Haynes@dot.nm.gov

Keith Christian, PE
Kimley-Horn and Associated, Inc.
6200 South Syracuse Way, Suite 300
Greenwood Village, CO 80111

Sincerely,

Digitally signed by
Margaret Haynes
Date: 2024.02.13
10:55:19 -0700'

Margaret Haynes, P.E.
District 3 Assistant Traffic Engineer

**Subject: ABB Expansion Traffic Impact Study
NM 45 and Bluewater Road (Milepost 13.2)
Albuquerque, New Mexico**

Copies:
Nancy Perea, NMDOT D3
Gary Funkhouser, NMDOT GO
Keith Thompson, NMDOT D3
Israel Suazo, NMDOT D3
Matt Grush, COA
Tim Brown, COA
Jim Roeder, COA
file

Dear Mr. Christian:

This letter is to inform you that the **FINAL** Traffic Impact Study (TIS) for ABB Expansion dated February 2024 has been reviewed. The proposed development is located west of NM 45 on Bluewater Road.

The NMDOT has no objection to the use of its existing access points. See Exhibit A for the site plan and the existing access points on Bluewater Rd. for this development. Its access includes "Access #6" and "Access #7". The TIS recommendations including a conceptual stripe layout are shown in Exhibit B. Based on these analyses, the following conditions are required:

1. At the signalized intersection of NM 45 (Coors Blvd) and Bluewater Rd, the development
 - a. Shall extend the existing eastbound left lane as long as possible without impacting the deceleration lane to Camino Azul via eradication and restriping;
 - b. Shall design and install a second eastbound left deceleration lane to match the length of extended eastbound left lane via eradication and restriping;
 - c. Shall design and install modified lane designation pavement markings for the westbound approach to one dedicated left lane and one shared through/right lane;
 - d. Shall design and install dotted lines through the intersection for westbound through traffic;
 - e. Shall provide a Variable Message Board two weeks prior to the striping change and two weeks after the striping change notifying the users for the future "NEW TRAFFIC PATTERN".

Commissioners

Jennifer Sandoval
Commissioner, Vice-Chairman
District 1

Vacant
Commissioner
District 2

Hilma E. Chynoweth
Commissioner
District 3

Walter G. Adams
Commissioner, Chairman
District 4

Thomas C. Taylor
Commissioner
District 5

Charles Lundstrom
Commissioner, Secretary
District 6

Watkins, Cole

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Thursday, February 22, 2024 8:24 AM
To: Watkins, Cole
Cc: Phelps, Randall
Subject: RE: ABB ABQ: PR-2023-009209 Comment Coordination

You don't often get email from rwebb@cabq.gov. [Learn why this is important](#)

Good morning.

Thank you for sending. We'll get it added to the file and under review.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Watkins, Cole <Cole.Watkins@kimley-horn.com>
Sent: Wednesday, February 21, 2024 5:50 PM
To: Webb, Robert L. <rwebb@cabq.gov>
Cc: Phelps, Randall <randall.phelps@kimley-horn.com>
Subject: RE: ABB ABQ: PR-2023-009209 Comment Coordination

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hi Robert,

Sorry for the delay. Will the attached PDF work for the detailed elevations?

Thanks,

Cole Watkins, EIT

Kimley-Horn | 6200 South Syracuse Way, Suite 300, Greenwood Village, CO 80111
Direct: 720 722 5996 | www.kimley-horn.com

Celebrating 16 years as one of FORTUNE's 100 Best Companies to Work For

From: Webb, Robert L. <rwebb@cabq.gov>
Sent: Monday, February 19, 2024 1:44 PM
To: Jurewicz, Madison <Madison.Jurewicz@kimley-horn.com>
Subject: RE: ABB ABQ: PR-2023-009209 Comment Coordination

Yes, that works great. We would just need a PDF for the updated or detailed elevation. Similar to the screen shot in the previous email.

Thank you,

Robert



ROBERT WEBB

Senior Planner -
Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Jurewicz, Madison <Madison.Jurewicz@kimley-horn.com>
Sent: Thursday, February 15, 2024 11:15 AM
To: Webb, Robert L. <rwebb@cabq.gov>; Wolfley, Jolene <jwolfley@cabq.gov>
Cc: Strange, Bonnie S. <bstrange@cabq.gov>; Watkins, Cole <Cole.Watkins@kimley-horn.com>; Phelps, Randall <randall.phelps@kimley-horn.com>; strohpus <strohpus@powersbrown.com>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>; Gomez, Angela J. <agomez@cabq.gov>
Subject: RE: ABB ABQ: PR-2023-009209 Comment Coordination

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert,

Will this be sufficient?

Thank you,

Madison Jurewicz, EIT

Kimley-Horn | 380 Interlocken Crescent, Suite 100, Broomfield, CO 80021

Direct: 720 464 2539

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#) | [Kimley-Horn.com](#)

From: Webb, Robert L. <rwebb@cabq.gov>

Sent: Wednesday, February 14, 2024 1:48 PM

To: Jurewicz, Madison <Madison.Jurewicz@kimley-horn.com>; Wolfley, Jolene <jwolfley@cabq.gov>

Cc: Strange, Bonnie S. <bstrange@cabq.gov>; Watkins, Cole <Cole.Watkins@kimley-horn.com>; Phelps,

Randall <randall.phelps@kimley-horn.com>; strohufus <strohufus@powersbrown.com>; Rodenbeck, Jay B.

<jrodenbeck@cabq.gov>; Gomez, Angela J. <agomez@cabq.gov>

Subject: RE: ABB ABO: PR-2023-009209 Comment Coordination

Thank you for sending.

Is there anyway to put both of those in a separate PDF. This way I can add them directly to the site plan file. It will help resolve other sections asking for the same information.

Thank you,

Robert



ROBERT WEBB

Senior Planner -

Development Review Services

o 505.924.3910

e rwebb@cabq.gov

cabq.gov/planning

From: Jurewicz, Madison <Madison.Jurewicz@kimley-horn.com>

Sent: Wednesday, February 14, 2024 1:27 PM

To: Wolfley, Jolene <jwolfley@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>

Cc: Strange, Bonnie S. <bstrange@cabq.gov>; Watkins, Cole <Cole.Watkins@kimley-horn.com>; Phelps,

Randall <randall.phelps@kimley-horn.com>; strohufus <strohufus@powersbrown.com>
Subject: ABB ABQ: PR-2023-009209 Comment Coordination

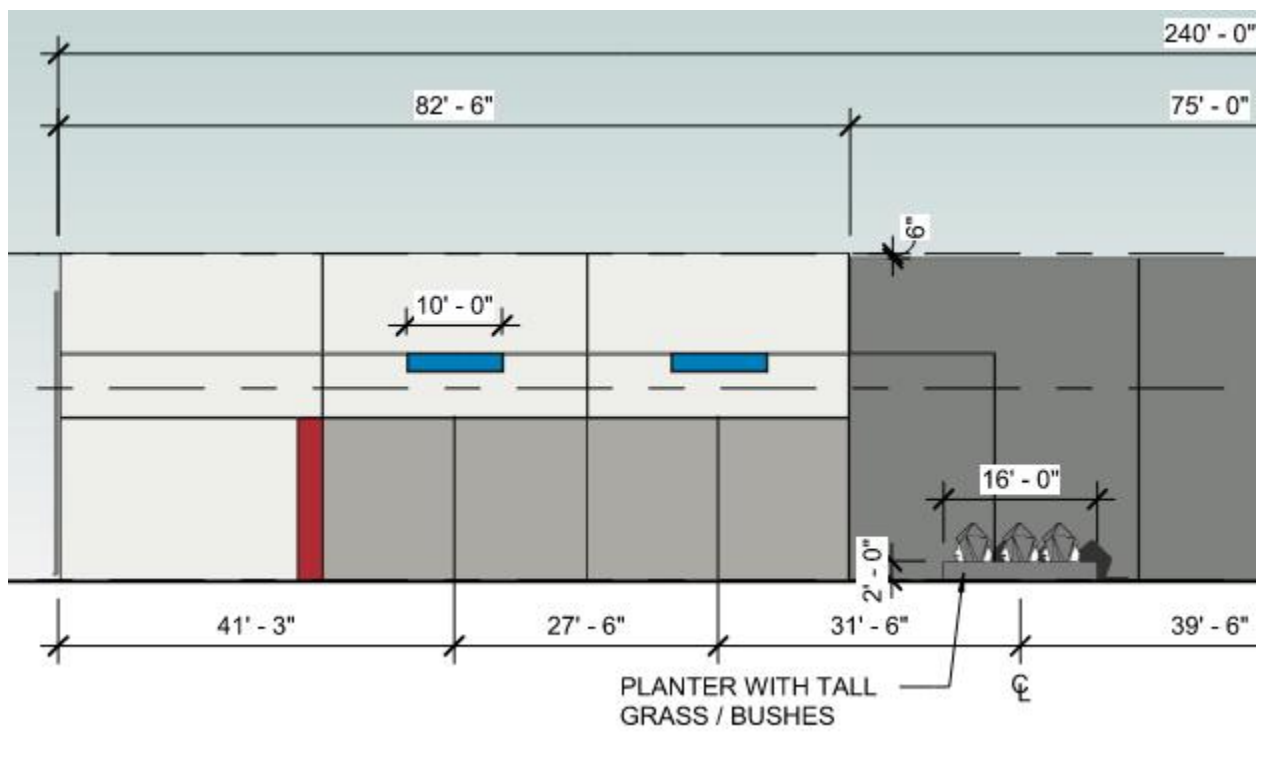
[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Robert and Jolene,

Following our DFT site plan meeting today on 6625 Bluewater Road, I wanted to reach out regarding the south building façade and meeting IDO requirements. We had a meeting with Bonnie back in early November and presented revised elevations that include

- 1) Planter Boxes
- 2) Upper Level Windows

These were deemed to have met the intention of the street facing façade requirements. Please see #2 from Bonnie in the attached email!



Thank you,

Madison Jurewicz, EIT

Kimley-Horn | 380 Interlocken Crescent, Suite 100, Broomfield, CO 80021

Direct: 720 464 2539

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#) | Kimley-Horn.com